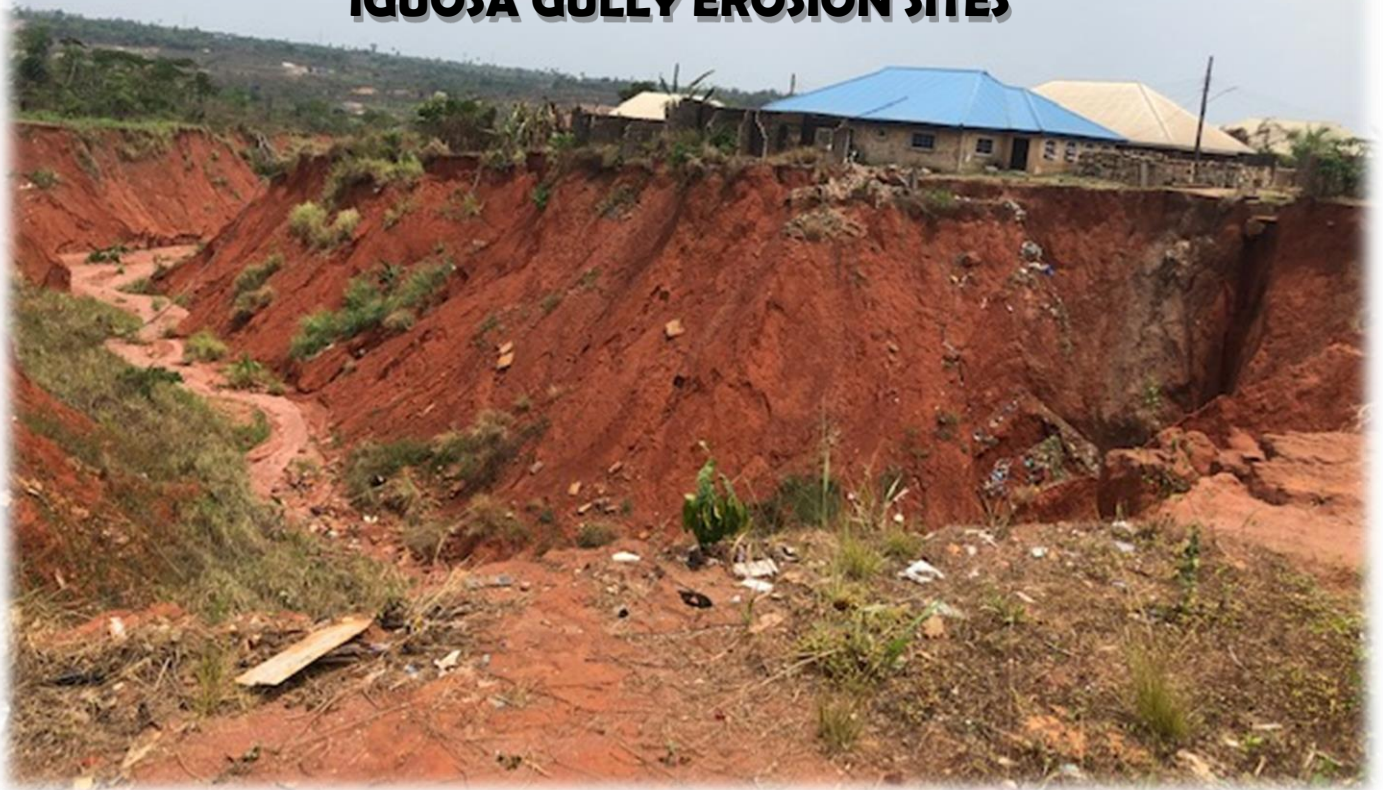




DRAFT FINAL

RESETTLEMENT ACTION PLAN FOR IGUOSA GULLY EROSION SITES



**Edo State Nigeria Erosion and Watershed Management
Project**

MARCH 2020

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GLOSSARY

Children: all persons under the age of 18 years according to international regulatory standard (Convention on the rights of Child 2002)

Community: a group of individuals broader than households, who identify themselves as a common unit due to recognized social, religious, economic and traditional government ties or shared locality.

Compensation: payment in cash or in kind for an asset or resource acquired or affected by the project.

Cut-off-Date: the date of completion of inventory of losses and census of project affected persons

Economic Displacement: a loss of productive assets or usage rights or livelihood capacities because such assets / rights / capacities are located in the project area.

Entitlement: the compensation offered by RAP, including: financial compensation; the right to participate in livelihood enhancement programs; housing sites and infrastructure; transport and temporary housing allowance; and, other short-term provisions required to move from one site to another.

Head of the Household: the eldest member of the core family in the household, for the purpose of the project.

Household: a group of persons living together who share the same cooking and eating facilities and form a basic socio-economic and decision-making unit. One or more households often occupy a homestead.

Involuntary Resettlement: resettlement without the informed consent of the displaced persons or if they give their consent, it is without having the power to refuse resettlement.

Lost Income Opportunities: lost income opportunities refers to compensation to project affected persons for loss of business income, business hours/time due to project

Operational Policy 4.12: Describes the basic principles and procedures for resettling, compensating or at least assisting involuntary displace persons to improve or at least restore their standards of living after alternatives for avoiding displacement is not feasible

Physical Displacement: a loss of residential structures and related non-residential structures and physical assets because such structures / assets are located in the project area.

Private property owners: persons who have legal title to structures, land or other assets and are accordingly entitled to compensation under the Land Act.

Project-Affected Community: a community that is adversely affected by the project.

Project-Affected Person: any person who, as a result of the project, loses the right to own, use or otherwise benefit from a built structure, land (commercial, residential, agricultural, or pasture), annual or

perennial crops and trees, or any other fixed or moveable asset, either in full or in part, permanently or temporarily.

Rehabilitation: the restoration of the PAPs resource capacity to continue with productive activities or lifestyles at a level higher or at least equal to that before the project.

Relocation: a compensation process through which physically displaced households are provided with a one-time lump-sum compensation payment for their existing residential structures and move from the area.

Replacement Cost: the amount of cash compensation and/or assistance suffices to replace lost assets and cover transaction costs, without taking into account depreciation or salvage value.

Resettlement Action Plan (RAP): documented procedures and the actions a project proponent will take to mitigate adverse effects, compensate losses, and provide development benefits to persons and communities affected by a project.

Resettlement Assistance: support provided to people who are physically displaced by a project. This may include transportation, food, shelter, and social services that are provided to affected people during their resettlement. Assistance may also include cash allowances that compensate affected people for the inconvenience associated with resettlement and defray the expenses of a transition to a new locale, such as moving expenses and lost work days.

Resettlement: a compensation process through which physically displaced households are provided with replacement plots and residential structures at one of two designated resettlement villages in the district. Resettlement includes initiatives to restore and improve the living standards of those being resettled.

Squatters: squatters are landless household squatting within the public / private land for residential and business purposes.

Vulnerable group: People who by their disadvantage conditions will be economically worse impacted by project activities than others such as female headed households, persons with disability, at-risk children, persons with HIV-AIDS and elderly household heads of 60 years and above.

LIST OF ACRONYMS AND THEIR DEFINITIONS

AIDS	Acquired immunodeficiency syndrome
BP	Bank Policies
CBO	Community Based Organization
CDCs	Community Development Committee
CSO	Community Support Organizations
EA	Environmental Assessment
FHE	Federal Housing Estate
EMP	Environmental Management Plan
ESMF	Environmental and Social Management Framework
ESMP	Environmental and Social Management Plan
FBOs	Faith Based Organizations
FMEEnv	Federal Ministry of Environment
FPMU	Federal Project Management Unit
GEF	Global Environment Facility
GRC	Grievance Redress Committee
GRM	Grievance Redress Mechanism
ha	Hectares
HCFs	Healthcare Facilities
HIV	Human Immunodeficiency Virus
IBRD	International Bank for Reconstruction and Development
IDA	International Development Association
LEA	Livelihood Enhancement Activities
LGA	Local Government Are

M&E	Monitoring and Evaluation
MDAs	Ministries, Departments & Agencies
MOUs	Memorandum of Understanding
NEWMAP	Nigeria Erosion and Watershed Management Project
NGOs	Non-Governmental Organizations
OP	Operational Policies (of the World Bank)
PAD	Project Appraisal Document
PAPs	Project Affected Persons
PC	Project Coordinator
PDO	Project Development Objectives
PHC	Primary Health Care
PID	Project Information Document
PIM	Project Implementation Manual
PIU	Project Implementation Unit
PMU	Project Management Unit
RAP	Resettlement Action Plan
RIC	Resettlement Implementation Committee
ROW	Right of Way
RPF	Resettlement Policy Framework
SA	Social Assessment
SCCF	Special Climate Change Fund
SMEnv	State Ministry of Environment
SMP	Social Management Plan
SPMU	State Project Implementation Unit
SSCs	State Steering Committees

STCs	State Technical Committees
STDs	Sexually Transmitted Diseases
TC	Tropical Continental
TM	Tropical Maritime
ToR	Terms of Reference
WB	World Bank

EXECUTIVE SUMMARY

ES 1 The Federal Government of Nigeria is tackling erosion menace through the Multi-sectoral Nigeria Erosion and Watershed management project (NEWMAP), financed through a loan by the World Bank, and grants from the Global Environment Facility (GEF), and the Special Climate Change Fund (SCCF). The Edo State Nigeria Erosion and Watershed Management Project (Edo-NEWMAP) is extending its efforts towards the rehabilitation and reclamation of gullied sites in the State to the **Iguosa Housing Estate Gully Erosion site in Benin City, Edo State**, where over the years, gully erosion has claimed properties and means of livelihood of some of the residents. The civil works will trigger the World Bank's Operational Safeguard OP 4.12 (Involuntary Resettlement) and thereby requires a Resettlement Action Plan (RAP).

A set of methodology is outlined to carry out the RAP which includes - Identification and consultation with the likely Project Affected Persons (PAP), Taking an Inventory of assets likely to be affected during the rehabilitation/construction works, and Preparation of a Compensation Plan.

ES 2 Project description: The approach and design adopted for the control/rehabilitation of the gully erosion includes the following:

- Checking the adequacy of all drainage features (drains and culverts) within the catchment area; and where not adequate, resizing and provision of adequate sections for conveying the runoff.
- Construction of new drains and drain supporting structures (flexible pavements).
- Reclamation of the main and secondary gully heads.
- Conveyance of the runoff entering the gully from the main gully head to the gully bed using a rectangular chute, and ensuring that the outlet of the chute is properly reinforced to prevent any form of scouring.
- Diverting the runoff from entering the gully through the head, and conveying the runoff through a properly sized rectangular channel to discharge at a safe point on the gully bed, from where it will flow naturally to the river.
- Construction of a reinforced concrete cascaded open channel to convey runoff from the top of the gully to the gully bed.
- Reinforcement of the gully wall areas around the main and secondary gully heads by shaping the slopes to achieve stability of the gully walls.
- Gully bed stabilization and bio-engineering.

ES 3 Description of Project Environment: The gully site is located at Iguosa Community in Ovia North-East Local Government Area of Edo State. It lies between Latitude 06° 26' 40" N to 06° 27' 10" N and Longitude 05° 36' 20" E to 05° 36' 50" E. The gully is located beside the Federal Housing Estate at Iguosa. It starts off at a point between the River Axis Road and the 2nd Street, runs in a North-easterly manner and terminates at a tributary which feeds the Ikpoba River. The gully area is the lowest point in the watershed and receives runoff from the surrounding communities, amounting to a total catchment area of about 2.0 km². It

covers a total land space of about 5.8 Hectares, some of which includes roads and buildings already claimed by the gully.

ES 4: Public Consultations: Chapter Four provides information on awareness creation and the conduct of public consultations in the project communities and with stakeholders so as to reduce the potential for conflicts, minimize the risks of negative project impacts on the communities and enable resettlement and compensation as part of a comprehensive development programme. In Specific terms, the sensitization campaign and public consultation sought to achieve the following:

Stakeholders identification - those positively/negatively affected by the project, as well as institutions that have an interest in the planning and execution of the project. The identified groups include: Edo State Government, Edo State NEWMAP SPMU, the Iguosa community, the Iguosa Federal Housing Estate Residents Association, Youth groups and Women groups.

ES 5 Policy, Legal and Regulatory Framework: A number of national and international environmental guidelines are applicable to the operation of the NEWMAP. The policy and regulatory frameworks discussed in Chapter Five acted as guide in the preparation of this RAP.

ES 6 Identification of Project Impacts and Project Affected Persons: Census of PAPs was carried out based on the methodology described in Chapter 1. The outcome shows that **81 persons** will be potentially impacted/suffer socio-economic losses as a result of sub-project activities. The census register for the RAP describes the names of PAPs, means of identification/contact and affected items (as shown in the annex). The field visits showed that significant relocation or adjustment of business premises, demolition of some structures, and removal of some vegetation (economic trees and cash crops) will occur during the rehabilitation exercise. The list of assets and means of livelihood to be affected and the degree of impacts are documented in the entitlement matrix (Chapter Eight for more details).

Table 1 Number of PAPs affected in different Items

ITEM	No. OF PAPS
Land Space	39
Physical relocation of buildings	23
Cash crops	9
Economic Trees	13
Loss of Business (Inconvenience)	39
Vulnerable Persons	2
Graves	3

Shrines	2
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Cut-Off Date

The cut-off date for being eligible for compensation and/ or resettlement assistance was 09th of March. 2020. The members of the estate were duly informed about the significance of the cut-off date in the implementation of this RAP in the meeting.

ES 7 Valuation Methodology: Valuation of assets to be affected by the implementation of the project was conducted using a general principle which follows the World Bank policy that lost income and asset will be valued at their full replacement costs such that the PAPs should experience no net loss. The disturbance allowance was arrived at using the following mathematical assumption; $BI = T \times Q \times V$, where,

T = Number of days of obstruction,

Q = Quantity of goods sold each day,

V = Interest Value on each good.

Allowance for each business has been factored into the full compensation and details are shown in Chapter 8.

ES 8 Entitlements: Chapter Eight shows the entitlement table for the PAPs with their names, Contact Numbers, Pictures and affected assets.

ES 9 Eligibility Matrix: Chapter Nine shows specific and applicable categories of PAPs under this project and types of losses as well as entitlement plans for PAPs. The Entitlement matrix therefore, is the basis for compensation budget, resettlement and income restoration measures, to be administered by the project proponent.

ES 10 Budget and Financing Plan: A detailed inventory of all affected assets provides the basis for estimating the compensation and assistance costs. This Section provides information on the estimated budget for the overall implementation of this RAP and source of funds.

Table 2 Budget for RAP implementation

S/N	DESCRIPTION	TOTAL
1	RAP Compensation/Assistance Budget for 81 PAPs (determined)	
	Land Acquisition	₦21,769,654.50
	Crops and Agricultural Resources	₦ 2,384,342.00
	Structures	₦21,720,000.00
	Disturbance Allowance (Businesses)	₦ 2,671,000.00

	Cultural Heritage	₦ 1,225,800.00
	Sub-Total: Compensation	₦49,770,796.50
2	RAP Implementation including costs for Management, Logistics and GRM (5% of RAP compensation Budget)	₦ 2,488,540.00
	*TOTAL	₦52,259,336.50

The total budget for administering/implementing the RAP for Iguosa Federal Housing Estate Gully Erosion Control project is **Fifty-Two Million, Two Hundred and Fifty-Nine Thousand, Three Hundred and Thirty-Six Naira, Fifty Kobo (₦52,259,336.50), Only.**

ES 11 Institutional Matrix: Chapter Eleven describes the cross-ministerial and cross-state coordination and collaboration of the many Federal and State Ministries, Departments and Agencies (MDAs) as well as local governments and communities involved in the NEWMAP. This is to ensure the development of an institutional arrangement amongst public agencies with local communities and PAPs with a view to ensuring good project management. The implementation of this RAP will require close collaboration among all the stakeholders with a properly constituted structure for administration which shall be agreed by all parties from the onset. The roles and responsibilities of the participating parties in collaborative efforts are outlined.

ES 12 Time Table of Events Coordinated with the Construction Project: Chapter Twelve states the timetable for implementation of this RAP. The RAP has to be completed and PAPs adequately compensated before initiation of civil/rehabilitation works in the project area.

Table 3 Timetable of RAP Exercise and Implementation

S/N	Activities	Completion Time			
		MARCH. 2020	APRIL. 2020	APRIL. 2020	APRIL- MAY 2020
1	Submission of Draft Final RAP Report				
2	Field Verification and comments				
3	Update of comments				
4	Submission of Final RAP Document				
5	Advertisement in two Local Newspaper in the Country				
6	Published in the World Bank Info Shop				
7	Commencement of RAP Implementation				

8	Completion of-RAP Implementation				
9	Commencement of Civil work				

ES 13 Monitoring Plan including Suitable Indicators for the Proposed Project: Monitoring and Evaluation are integral components of the programme/project management cycle used at all stages of the project; monitoring and evaluation helps to strengthen project design, enrich quality of interventions, improve decision-making, and enhance learning. Chapter Thirteen of this report explains this in details.

ES 14) Grievance Redress Mechanism (GRM): The likelihood of dispute is not likely to be much because of the low number of persons likely to be affected by the erosion control/rehabilitation works. All PAPs were consulted in the course of the preparation of this RAP. Nevertheless, in the event that grievances arise, a grievance redress mechanism' has been prepared as part of this RAP.

PAPs were informed of their rights and mechanism to seek redress and to address complaints in all cases of improper acts, inequities in the course of project execution, resettlement issues, and compensations implementation. The grievance procedure will be expatiated further to the project affected persons during project implementation.

The major grievances that might require mitigation include:

- PAPs not listed;
- Losses not identified correctly;
- Inadequate assistance;
- Dispute about ownership;
- Delay in disbursement of assistance and improper distribution of assistance.

CHAPTER ONE

INTRODUCTION

BACKGROUND

Erosion is one of the surface processes that sculpture the earth's landscape and constitutes one of the global environmental problems. Soil erosion is perhaps the most serious mechanism of land degradation in the tropics (El-Swaify, *et al.*, 1982). However, Gully erosion, the most impressive and striking erosion type, has been recognized as one of the major global environmental problems. Many States in Nigeria are currently under the threats of this phenomenal process, south-eastern part of the country being the most affected.

Gully erosion has numerous causes and these causes can be both naturally and artificially-induced, but the underlying geology and the severity of accompany surface processes play a key role. Observations have shown clearly that it's more prevalent in sedimentary terrain than in the basement complex of Nigeria. This erosion activity at various scales has resulted in the loss of lives and properties almost on a yearly basis.

In view of this, the Government of Nigeria is implementing the multi-sectoral Nigeria Erosion and Watershed Management Project (NEWMAP), financed by the World Bank, Global Environment Facility, the Special Climate Change Fund, and the Government of Nigeria. The NEWMAP is aimed at reducing vulnerability to soil erosion in targeted sub-catchments.

Iguosa Federal Housing Estate (FHE) is benefiting from this effort to rehabilitate and control the gully erosion in the estate. This gully erosion keeps expanding by the day after heavy downpours. Several structures and arable lands have caved into the gully in the past and others are currently threatened and have been abandoned by the owners as they will eventually collapse with more rains.



Figure 1 A Factory seriously threatened in between the main gully head and Finger (Iguosa Erosion RAP baseline studies March, 2020)



Figure 2 A Residential house close to the Gully mouth Finger (Iguosa Erosion RAP baseline studies March, 2020)

Edo State Nigeria Erosion and Watershed Management project is currently planning to rehabilitate and reclaim parts of the gully to end the age long suffering of the residence. The civil works will involve various construction activities which will hamper businesses and may cause minor land takes in areas where bioengineering works and other activities as stipulated in the engineering report will take place which triggers the World Bank’s Operational Safeguard OP 4.12 (Involuntary Resettlement).

RAP METHODOLOGY

These set of schematic approaches were employed to conduct the Resettlement Action Plan (RAP) for Iguosa FHE, Gully Erosion project. It was discovered during the field work that several residential buildings and a factory has been abandoned because of the swift expansion of the gully towards the structures. Others are either partially or wholly caved into the gully erosion warranting the inhabitants to relocate to rented apartment elsewhere. In this regard a setback of 15m from the Gully mouth was used for capturing assets which fall within the construction corridor. Where expansion of gully is intended all business owners within that area were equally captured for compensation on loss of business time (disturbance) during the period of construction works in each particular area.

Initial meeting with the client

Initial meeting with Edo Newman which gave us the opportunity to collect relevant document patterning to this project and to schedule meetings with the Project Engineer.

Literature Review

This exercise was helpful in understanding the relationship and gaps in the policy frameworks of the World Bank and the country laws and policies on involuntary displacement. From the review of the policy documents stated above, the necessary requirements for this RAP were ascertained.

Site visit /stakeholder’s consultation

This step was important to determine the magnitude and nature of the anticipated impacts, identify the direct Project Affected Persons. It was also used to consult with the stakeholders whose assistances and cooperation is expected to ensure sustainable project implementation.

Engagement of field officers

The field officers were trained on how to administer the socio-economic forms to the PAPs and the nature of the policy guidelines that underlay the project. This was undertaken with mock exercise carried out to test their understanding and capabilities before embarking on field survey.

Identification of PAPs /their Assets

Identification of project-affected persons (PAPs) was based on the following considerations: Owners of assets/structures within 15m set back along the gully corridors as well as Owners of assets/structures along the right of way (ROW) where the drainage expansion and construction will take place. This was done taking into cognizance the location of public utilities eg Electricity poles along the ROW.

Consultations with Identified Stakeholders

Series of consultations were undertaken in the course of this RAP. The Iguosa community members were consulted on different occasions. The essence of this was to inform them of the exercise and invite all stakeholders and project affected persons to a public consultation with date, venue and time specified. The last consultation was the cut of date.

Inventory of Assets

All the structures that fall within the 15m setback from the Gully mount were captured and the name of the occupant/owner. Socioeconomic status of each PAP was duly captured as well.

Cut-off-date

The cut-off date for this RAP was on 09/03/2020. This was done to intimate the community members of the outcome of our field works. Details of these consultations are in the summary of the minutes of consultations in the annex of this report.

Figure 3 Methodology used for the RAP

Objectives of the RAP

The specific objectives of this RAP are:

- To develop a resettlement action plan in line with the prepared and disclosed Resettlement Policy Framework and in compliance with the requirement of Operational Policy (OP) 4.12 of the World Bank on Involuntary resettlement,
- To ensure that compensations and mitigation packages are delivered promptly and according to the provisions of OP 4.12
- Conduct a census survey of impacted persons and valuation of assets affected;
- Consult with the affected community and agencies;
- Ascertain the number of vulnerable persons among PAPs and design livelihood restoration measures suitable to addressing their economic sustenance; and
- Describe compensation and other resettlement assistance to be provided to restore livelihood to pre-displacement level.
- To identify and assess the human impact of the proposed works at the Gully erosion sites in Edo college, and to prepare an Action Plan to be implemented in coordination with the civil works in Line with World Bank safeguards Policy and Nigeria policies and laws”

CHAPTER TWO

PROJECT DESCRIPTION

The Iguosa Gully erosion has a U-Shape formation and was caused by abrupt termination of drains and uncontrolled runoff from the surrounding watersheds. This gully has continued to expand with rains which require urgent intervention to curb the spread. According to the Engineering design report the gully covers a land space of about 57796 m² (5.8 Hectares) and currently is about 760 m in length with depth of the gully varying from about 20 m at the head portion to about 2 m at the tail end of the gully.

There is rapid deterioration in the rate of gully head retreat in the area due to the topography and the friable and highly erodible soil deposit of the Benin formation. This has led to huge loss of infrastructure within the area where the gully is located, such as housing properties, arable lands and roads

Three options were enumerated to control this menace and the preferred option (option 3) was seen to be economically feasible and viable to implement. The approach adopted in the design through option 3 for the control of the gully erosion includes the following:

- Checking the adequacy of all drainage features (drains and culverts) within the catchment area; and where not adequate, resize and provide adequate section for conveying the runoff.

Name of Street	Size of existing drain feature	Check for adequacy	Proposed size
Central Road	0.65m x 0.45m at the beginning of the road, and 0.7m x 0.8m at the end of the road, with an average wall thickness of 150 mm	Inadequate	0.8m x 1.0m on the RHS for the entire length of the road, which is about 900m
2 nd Street	0.8m x 0.7m, with an average wall thickness of 150 mm	Adequate	N/A
7 th Avenue	0.7m x 0.8m, with an average wall thickness of 150 mm	Adequate	N/A
River Side Road	0.7m x 0.8m, with an average wall thickness of 150 mm	Adequate	N/A
Culvert linking 7 th Avenue to Central Road	750 mm double cell pipe culvert	Adequate	N/A
Culvert linking 7 th Avenue to River Axis Road	0.7m x 0.7m single cell box culvert	Adequate	N/A

Figure 4 Size of existing drains and culverts in the catchment area (Iguosa FHE Engineering Design, December 2019)

- Construction of new drains and drain supporting structures (flexible pavements). Based on the assessment of the existing drainage network, the following drains and drain supporting structures were proposed for construction.

Feature	Location	Length (m)	Coordinates of Start Point	Coordinates of End Point
Drain	Central Road	900	713207.766mN, 787372.458mE	713247.031mN, 788256.204mE
Flexible pavement	River Side Road	1,600	713279.674mN, 787367.984mE	713710.898mN, 788641.368mE
Drain	River Side Road	793	713327.991mN, 788154.962mE	713708.401mN, 788648.954mE
Drain	Celestial Road	605	713381.723mN, 788377.913mE	713746.628mN, 788780.325mE
Flexible pavement	Celestial Road	605	713381.723mN, 788377.913mE	713746.628mN, 788780.325mE
Flexible pavement	7 th Avenue	91	713242.165mN, 788153.267mE	713332.731mN, 788149.021mE
Drain	Extension of 2 nd Street	90	713242.714mN, 788260.536mE	713331.961mN, 788258.920mE
Flexible pavement	Extension of 2 nd Street	90	713242.714mN, 788260.536mE	713331.961mN, 788258.920mE

Figure 5 Details of drains and flexible pavements proposed for construction (Iguosa FHA Engineering Design, December 2019)

- Reclamation of the main and secondary gully heads. The main gully head is proposed to be reclaimed because the gully cuts the Riverside Road at this point. The reclamation will enable the construction of the drains on the Riverside Road, to allow proper conveyance of the runoff to the desired discharge points. The secondary gully head is also proposed for reclamation as this is a very active part of the gully with a very high growth rate.
- Convey the runoff entering the gully from the main gully head to the gully bed using a rectangular chute, and ensure that the outlet of the chute is properly reinforced to prevent any form of scouring. This will consist of a rectangular channel of width 1.8m and depth 1.2m starting off at the point of intersection between the Riverside Road and the 2nd Street, running and sloping down the stabilized slope of the gully walls at the main gully head, and ending at the gully bed. The total length of this channel is about 54m.
- Diverting the runoff from entering the gully through the head, and conveying the runoff through a properly sized rectangular channel to discharge at a safe point on the gully bed, from where it will flow naturally to the river.

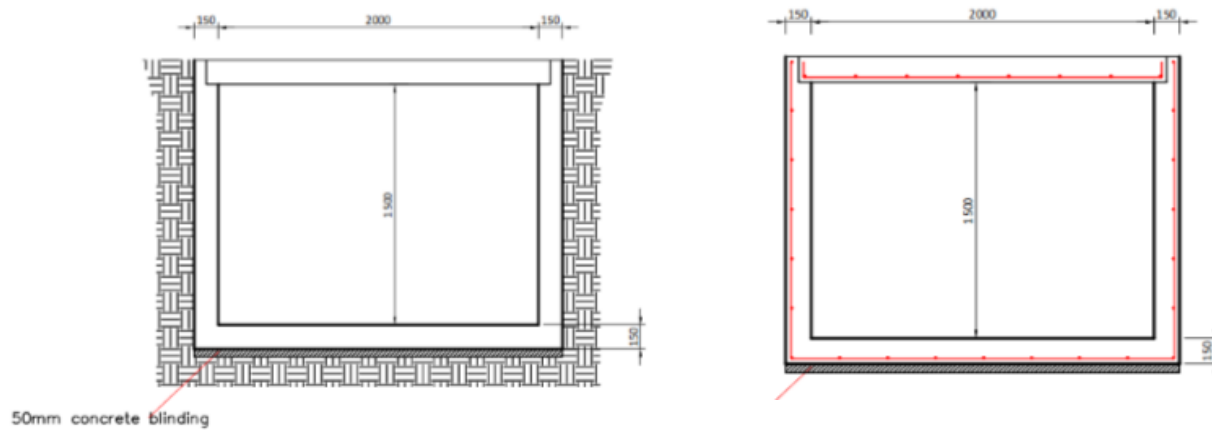


Figure 6 Typical section of diversion channel (Iguosa FHA Engineering Design, December 2019)

- Construction of a reinforced concrete cascaded open channel to convey the runoff from the top of the gully to the gully bed.

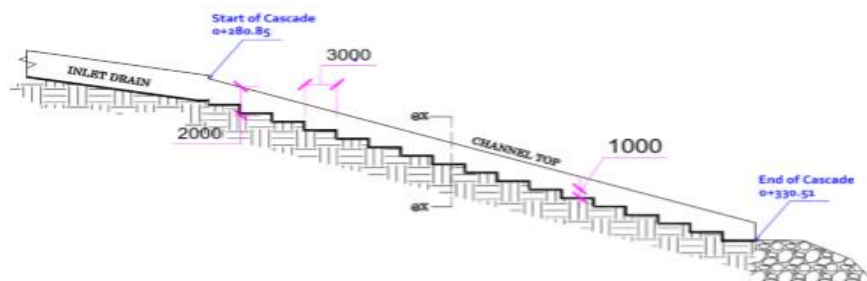


Figure 7 Cascaded channel (Iguosa FHA Engineering Design, December 2019)

- Reinforce the gully wall areas around the main and secondary gully heads by shaping the slopes to achieve stability of the gully walls. The slope shaping will require earthworks (cutting/filling) using suitable materials. The slopes will be vegetated to protect against any form of erosion that may be caused by surface runoff. Slope stability analysis was performed to determine suitable slopes to adopt. Gabion retaining walls were provided at the base of the gully walls to provide increased stability of the slopes and to guard against undercutting at the base of the stabilized walls, which could be caused by continuous exposure of the gully walls to runoff on the gully bed.

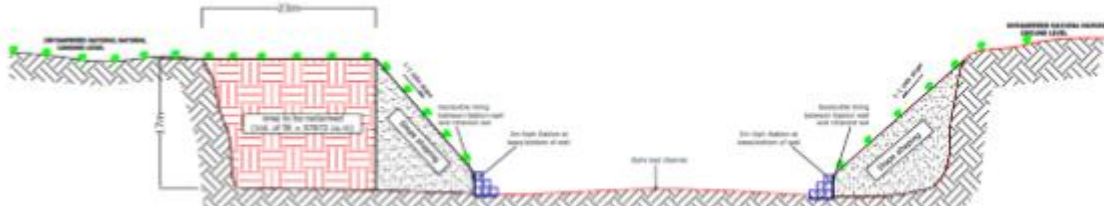


Figure 8 Typical configuration of slope stabilization with gabion retaining walls (Iguosa FHA Engineering Design, December 2019)

- Gully bed stabilization: The main purpose of stabilizing the gully bed is to prevent continuous soil loss/eroding from the gully bed that can result in further deepening of the gully. This can be achieved by provision of check dams (where necessary) at regular intervals along the bed of the gully to help in obstructing the flow along the gully bed, thereby trapping the moving sediments. In order to prevent undercutting or scouring at the outlets of the chute and cascade, it was proposed to provide riprap revetment on the portion of the gully bed surrounding these outlets. The riprap revetment is to be spread over a distance of 4m upstream from the outlet of the chute, and 5m upstream from the outlet of the cascade to 7.5m downstream.
- Vegetation: Vetiver grasses are to be planted on either side of the constructed open channel (10m wide, as shown in the general layout drawing). Vetiver grasses are also to be planted on the reclaimed sections of the gully head and on the gully wall slope.

CHAPTER THREE

DESCRIPTION OF PROJECT ENVIRONMENT AND BASELINE STUDIES

Edo State

Edo State is an inland State in central southern Nigeria with land mass of over 17,802 sq. km. The state has a population of 4,235,600 (NPC/NBS web Estimate 2016). Edo State shares boundaries with Delta on the South, Ondo on the West, Kogi on the North-East. The main towns in the state are Benin, capital of the ancient Benin kingdom which is also the state capital, Ubiaja, Auchi, Ekpoma and Uromi.

Local Government Areas

The state has 18 local government: Akoko-Edo, Egor, Esan central, Esan west, Esan North East, Esan South East, Etsako East, Etsako West, Etsako Central, Orhionmwon, Ovia North East, Ovia south west, Owan west, Owan east, Uhumwonde, Igueben, Ikpoba-okha and Oredo.

Climate

The climate of Edo State is tropical. It has two distinct climatic seasons, the rainy and the dry seasons. The rainy season is between April and October with a two-week break in August. Average rainfall is between 150cm in the far north of the state to 250cm in the south. The dry season lasts from November to April, with a cold, humid and dusty harmattan period between December and January.

Topography

In the southwest, there are sandy plains with many rivers and streams. This portion, which is the Benin Lowlands, has a few hills and the land is drained by the Ikpoba, Orhionmwon and Osse Rivers. Going northwards is the Esan Plateau, which is an extension of the plateau and ranges that are found in the far northern areas of the state. They are mainly Sandstone plateau whose heights range from 200 to 300 metres above sea level.

Geology and Geomorphology

Edo State lies within the Niger Delta thereby making its geology typical of the Niger Delta Basin. The area forms part of a geological sequence of the Quaternary and Tertiary formations of the Niger Delta.

Vegetation

Vegetation in Edo state consists of Mangrove swamps, Freshwater swamps, Rainforests and Savanna grasslands. The Mangroves and Freshwater swamps occur in the southern end of the state, especially around its frontier with Delta State, where the water bodies get periodic inflow of saltwater from proximity to the sea and saline creeks flow. The Savanna grasslands however occur in the northern reaches of the state, around Okpella and Igarra, which have frontiers with Kogi State.

Wild life

As is typical of any area with such a wide range of vegetation, wildlife also varies greatly in species composition and abundance. Generally, however, wildlife in Edo state consists of mammals, birds,

reptiles and amphibians. Many parts of the state have been substantially modified by human activities, such that only very few primary forests still exist.

The forest zones host large mammals such as Mona monkeys, Duikers, Warthogs, etc. Swamps play host to reptiles such as Crocodiles, Swamp Turtles, Monitor lizards and Buffaloes, while the savanna grasslands play host to rodents such as Grass cutters, Porcupines, Snakes, etc. Avian species, because of their mobility, are ubiquitous across the state, and range from birds of the waterside such as Pelicans, Hammerkops, Egrets and Herons to birds of the gardens such as Doves, Wild Pigeons, Robins and Weaverbirds.

OVERVIEW OF IGUOSA

The gully site is located at Iguosa Community in Ovia North-East Local Government Area of Edo State. It lies between Latitude 06° 26' 40" N to 06° 27' 10" N and Longitude 05° 36' 20" E to 05° 36' 50" E. The gully is located beside the Federal Housing Estate at Iguosa. It starts off at a point between the River Axis Road and the 2nd Street, runs in a North-easterly manner and terminates at a tributary which feeds the Ikpoba River. The gully area is the lowest point in the watershed and receives runoff from the surrounding communities, amounting to a total catchment area of about 2.0 km². It covers a total land space of about 5.8 Hectares, some of which includes roads and buildings already claimed by the gully.

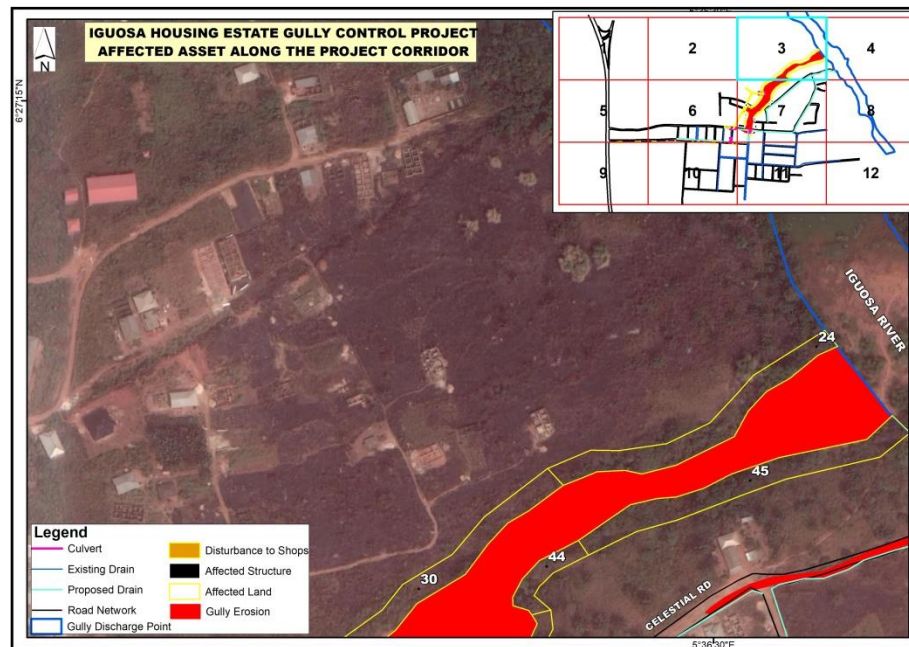


Figure 9 Map showing the Gully Erosion in Iguosa FHE (Iguosa RAP studies, March, 2020)

LANDUSE

The land use in the location ranges from Residential (built-up), Industrial, Educational, Religious to Agricultural purposes.

GEOLOGY

The geological formation of the study area is predominantly that of the Benin formation. The terrain is mostly plain but slopes downwards towards the gully with natural ground slopes ranging from -2% to -4%.

TEMPERATURE

Temperature in the area is usually between 27°C to 32°C, although can occasionally be higher.

HUMIDITY

Humidity is high, typically of areas within the tropical belt. There are two distinct seasons experienced in the area – the wet season from April to October and the dry harmattan season from November to March. The dry season is mainly as a result of the North – East trade wind, and spans from mid-October to late March.

VEGETATION

Vegetation is typically tropical rain forest.

SOCIO-ECONOMICS BASELINE SURVEY OF PAPs

The socio-economic studies in this project focused on the socio-demographic background information of identified Project Affected Persons (PAPs) along the corridor of the gully erosion in Iguosa community. This survey was tactically carried out with a view to determine the socio-economic baseline conditions of the PAPs, and how the project stands to impact them.

A total of 71 questionnaires were administered to identified Project Affected Persons / respondents who live or do businesses across the length of the gully and flood intervention corridor. It is important to note that the impact of project activities on the sources of livelihood of PAPs on the project site vary among them. While some are directly affected (especially those within 10 - 15m from the intervention corridor), others, especially those who owned businesses along the project site may have disturbances during rehabilitation works.

The response of those met or to whom questionnaires were administered provided an average idea of the prevailing situation in the proposed project area. Therefore, it is believed that the information provided by these categories of people is accurate about the businesses they represent/operate or property/asset they own or represent and the general condition of people and their environment.

Gender distribution of the respondents:

Figure 8 below shows that 43.03 persons out the 71 respondents (60.6%) of the identified respondents were males, while the remaining 39.4% are females that is 29 persons are Female. This shows Landlords in the estate are majorly men.

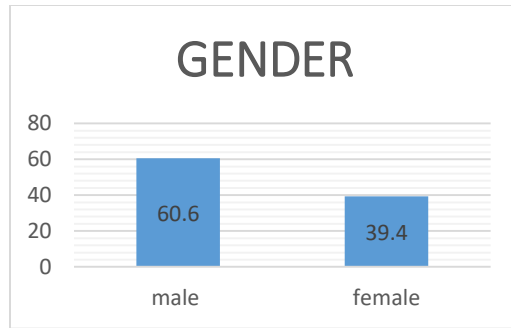


Figure 10 Gender distribution of Respondents

Age Distribution

The Age distribution of the respondents is shown in the figure below. It reveals that the middle-aged persons within the age bracket of 41 to 50 are predominant (about 28%) within the project site. while 18% of the respondents are within the elderly age bracket of 61 to 70 years, 20% of the respondents are within the age bracket of 31 to 40 years, about 17% between 20-30 years, while 16% of the respondents are within the age bracket of 51 – 60 years. Only (1%) were above the age of 70 years. This shows that the estate has more youthful population who can assist in physical works during the rehabilitation work.

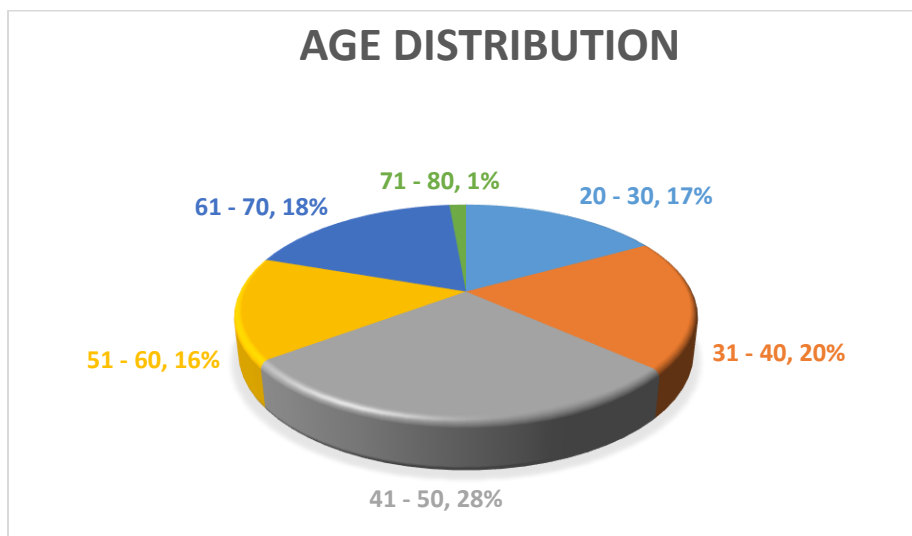


Figure 11: Age Distribution of the respondent

Marital Status of Respondent

The figure below shows that 59 persons out of the 71 sampled populations are married (83%), and 14% of the respondents (10 persons) are single, whereas widows and widowers represents 3% (1 person) out of the respondents.

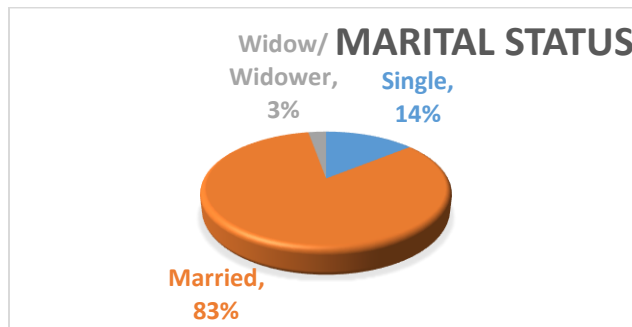


Figure 12: Marital Status of respondents

Literacy Level / educational background of the Respondents

The figure below on the literacy level of the respondents shows that 12% of the respondents had primary education (FSLC), the highest number of respondent 41% had secondary education (WASC/SSCE), while 24% had HND/BSc degrees. 13% of the respondents do not have any formal education while 10% of the respondent recorded those with the highest form of education (MSc., PhD)

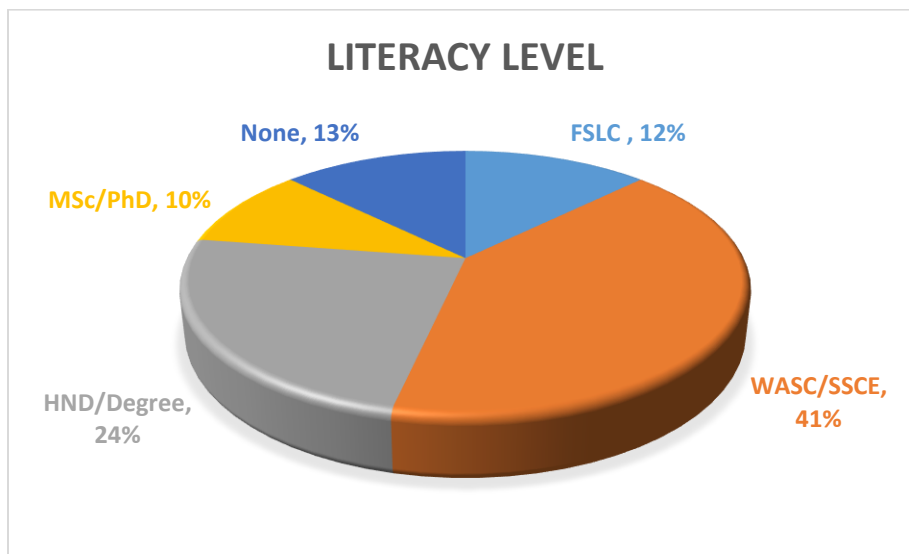


Figure 13: Literacy Level / educational background of the Respondents

Occupation of Respondents

Figure 11 depicts the primary occupation of the respondents. It shows that majority (35%) of the respondents are traders, and 17% were farmers. Also, about 13% and 15% of the respondents are employed in private sectors, and civil service, respectively, 14% are artisan while about 6% are retired.

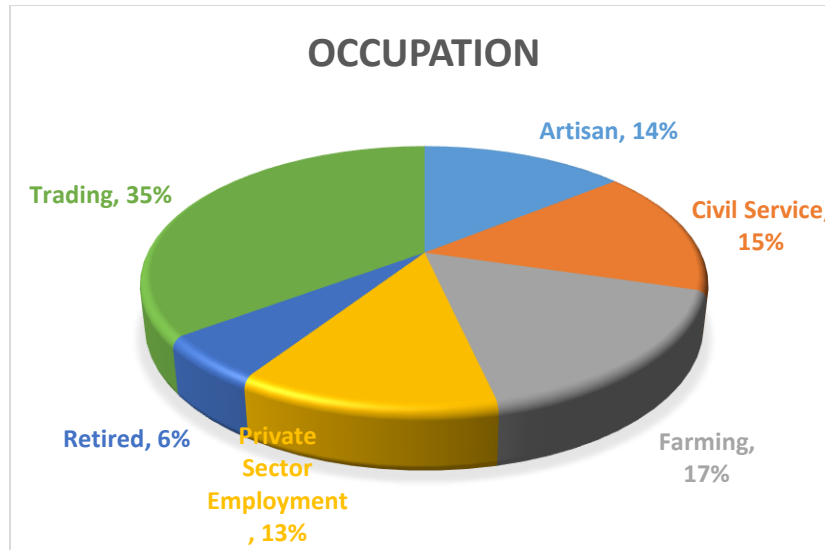


Figure 14: Occupation of Respondents

Average Income Status of Respondents

Field survey shows that dominant income groups amongst respondents fall within ₦31,000 – ₦40,000 (27%) followed by those who earn ₦51,000 and above (25%) per Month. 11% of the sampled population earn within ₦21,000 - ₦30,000 while those who earn within ₦11,000 - ₦20,000, and ₦6,000 - ₦10,000 are 7% each. The survey also shows that just about 6% fall within the income of ₦0- ₦5000 per month while about 17% of respondents earn ₦41,000 to ₦50,000 per month. In General, about 31% fall below the minimum wage income level. These results imply that impacts on the sources of livelihood of the respondents may have adverse effects on their income sustenance and standard of living.

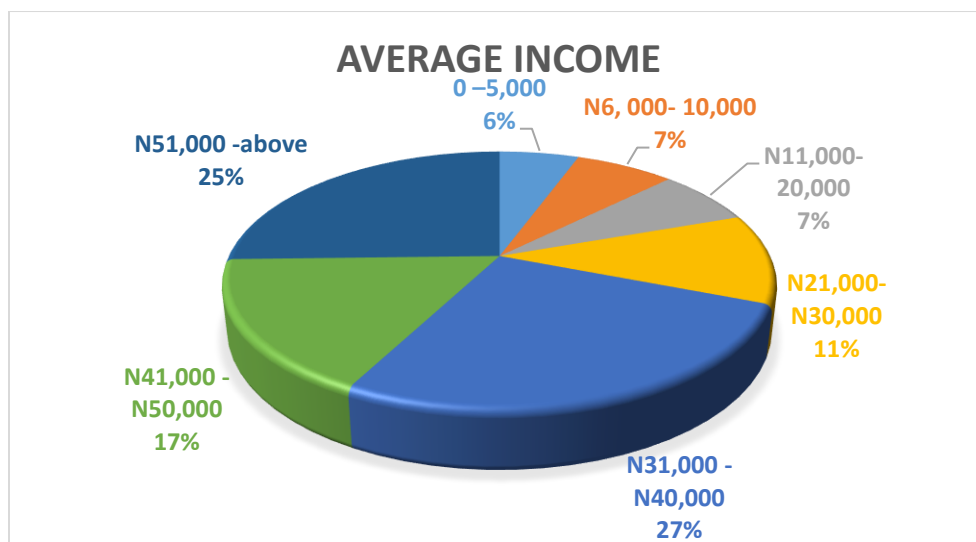


Figure 15: Average Income of Respondents

Religious Practice of the Respondents

Christianity is the predominant religion at 96% while African Traditional Religion comes second at 3% among the sampled population. However, 1% of the respondents practice Islamic Religion. This represents the larger population and it goes to show that cultural heritage is an integral part of some of the respondents even though Christianity is commonly practiced in the community.



Figure 16: Religious Practice of the Respondents

Water source

Majority of the Respondents (55%) get their source of water from private borehole in the community, followed by those who get theirs from Commercial boreholes (42%). Also, only 2% of the respondents get their water source from public pipe borne water whereas 1% each, get their water supply from vendors and from a well.

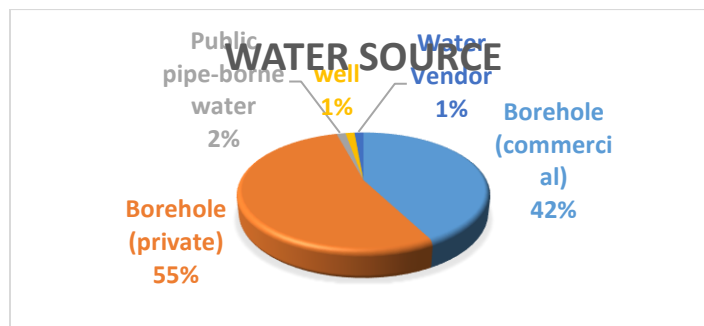


Figure 17: Water Source

Sanitation / toilet facilities

It was deduced from the field work that about 85% of the respondents use water closet while 13% make use of pit latrines. The rest of the respondents (1% each) use Open land/ bush and Ventilated improved latrine, as shown in figure. 16. This explains that the level of hygiene of the community is above average and can as well represent good living standard.

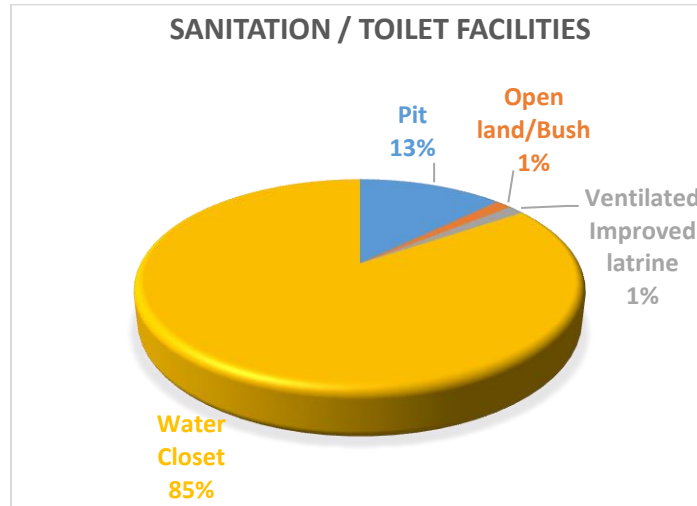


Figure 18: Sanitation / toilet facilities

Household waste Disposal method

From the field survey, 40% of the sampled PAPs in the area dispose their household wastes by organized collection, 20% burn their waste and 14% dispose their waste in public open dumps. Also, 18% bury their wastes while 8% dispose their waste in the bush. The result is shown in the figure below;

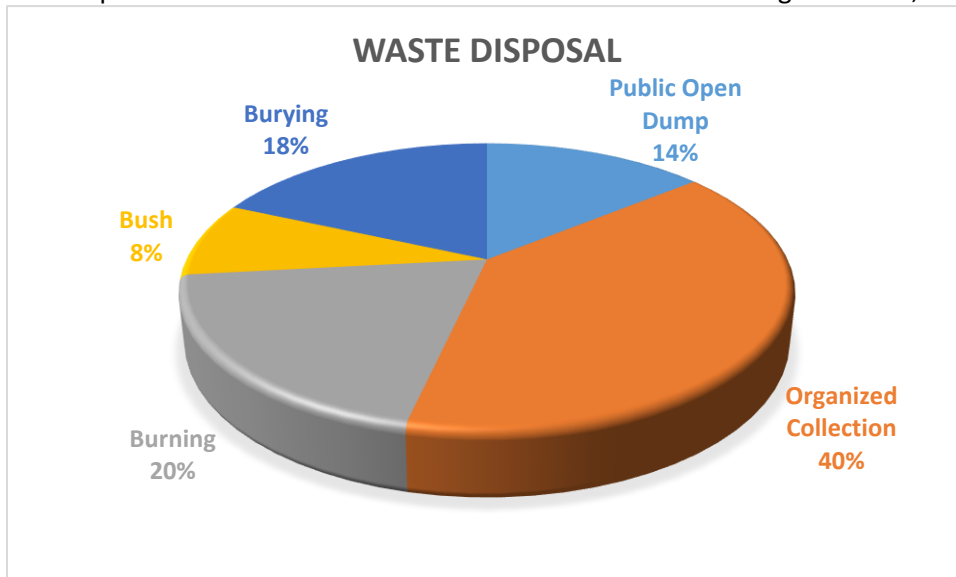


Figure 19: Household waste Disposal method

Cooking Fuel

More than half of the sampled PAPs (59%) in the Iguosa community use gas as their cooking fuel. 34% use kerosene while 6% use firewood. However, only 1% use charcoal as a cooking fuel.

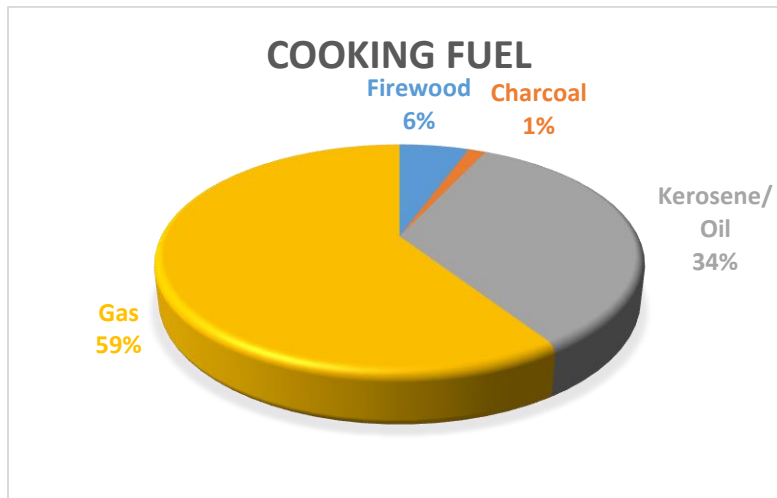


Figure 20: cooking fuel

Electricity

The survey showed that electricity is obtained from the national grid within the project communities and it is the major primary source of electricity with 75% of users among the sample PAPs. However, their services are epileptic. As an alternative source of electricity, 24% of the PAPs use private generator, while only 1% use electricity for state Government Board.

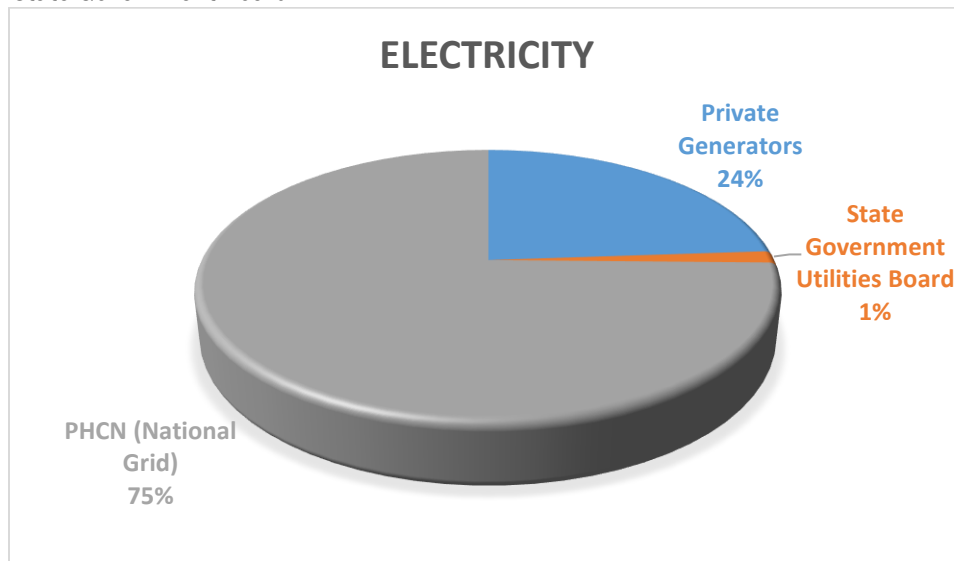


Figure 21: Electricity

Title on Property

About 53% of the sampled PAPs owned property along the project corridor whereas 47% of the PAPs are tenants majorly those who have rented shops and whose businesses will be disturbed during civil works.

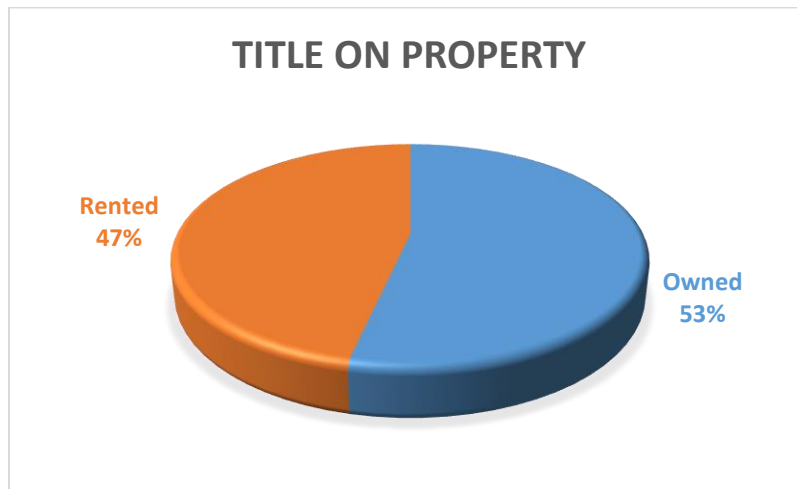


Figure 22: Title on property

Choice of Assistance/compensation Option

When asked the preferred choice of compensation, majority (94%) of the PAPS want to be compensated with cash grant equivalent to loss, while 6% want to be provided with new plots of land in exchange for land lost. This brings to conclusion judging from the consultation held with PAPs as against their choice of Compensation which they all agreed to Cash payment.

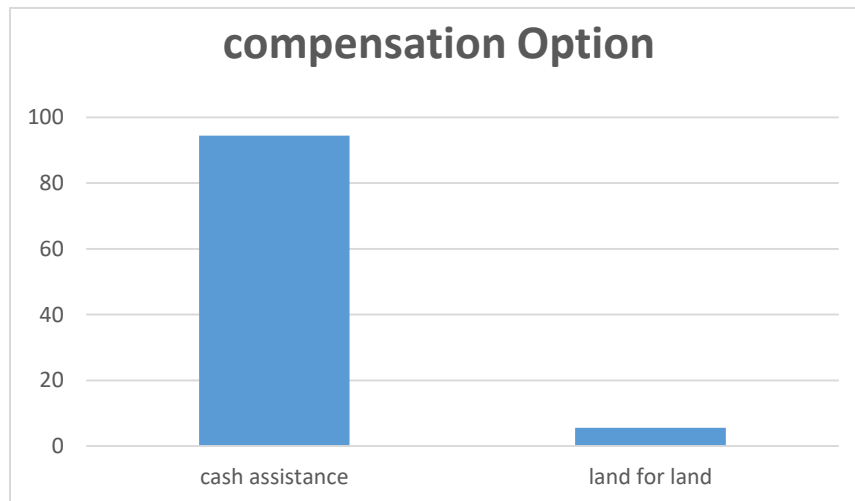


Figure 23: Choice of Assistance/compensation Option

CHAPTER FOUR

SUMMARY OF CONSULTATIONS

Introduction

The Public consultation processes adopted for this RAP are essential because they afford Project Affected Persons (PAPs) and the entire project community the opportunity for full participation in the project, as well as the ability to contribute to both the design and implementation of the project activities thereby reducing the likelihood for grievances and conflict. The more direct involvement of the project community members in the planning and management processes through public participation and consultations, the greater the likelihood that resource use and protection problems will be solved as well as the likelihood of development opportunities occurring in a balanced way and to the broad benefit of all communities in the project.

The Consultation process began during the early stage of preliminary site visit and reconnaissance level survey. This was further improved on, through interactions and consultation with the relevant stakeholders (i.e. the PAPs, community leaders, the site committee members, Leaders of Iguosa Federal Housing Estate and Iguosa community-based organizations during the preparation of this RAP.

Objective of the Consultation

Providing adequate information to affected communities and stakeholders reduces the potential for conflicts, minimizes the risk of project on communities and enables resettlement and compensation in a comprehensive development programme. In Specific terms, the sensitization campaign and public consultation sought to achieve the following:

- Inform stakeholders of the project activities and provide adequate information on the project, its components and its activities with affected communities.
- Establish grievance and effective complaints mechanism on the project. Obtain vital information about the needs and priorities of affected settlements.
- Inform the PAPs and the communities about diverse options of resettlement and compensation.
- Obtain cooperation and support of the Project Affected Persons
- Ensure accurate and transparent resettlement and rehabilitation process for Project Affected Persons.

Stakeholders Identification

Stakeholders for this project were identified and they include those positively and negatively affected by the project, as well as institutions that have an interest in the successful planning and execution of the project. Generally, five (5) broad categories of stakeholders were identified for this project based on the degree to which the project activities may affect or involve such persons or group of persons. The identified groups include:

- Edo State NEWMAP SPMU
- Odionwere of Iguosa Community
- Leaders Iguosa Federal Housing Estate
- Youth group leaders
- Women group Leaders
- Town Associations/ Community Based Organization Leaders
- The vulnerable, which include the widows, and orphans.

These stakeholders are grouped as shown in Table 5. Below;

Table 4 Identified Stakeholder Groups

GROUP	DESCRIPTION	ROLE (S) IN COMMUNITY PROCESS
1	Individuals or group of persons whose day-to-day traditional or administrative functions include oversight of developmental activities within the project areas.	This category of persons served as mobilization points around which the Consultant reached out to the other members of the community
2	Individuals or group of persons whose day-to-day lives/livelihoods may be directly affected by project activities. These people either reside or carry out their daily livelihood activities within 10 m of the erosion gully edge.	The identified persons or group of persons in this category will ultimately represent the Project Affected Persons (PAPs) or Households (PAHs)
3	Individuals or group of persons whose daily activities (including farming) bring them in close proximity to the project area. These people may either reside or carry out their daily livelihood activities outside of the erosion gully but within the communities in which the project is located.	The category of persons may or may not be affected by the project but may be significant contributors to the long-term sustainability of the project.
4	CBOs, FBOs and NGOs who provided frequent interface with the community members who may be directly or indirectly affected by the project activities.	This group of organizations essentially contributes to and/or provide on a regular basis to the spiritual and physical welfare as well as environmental health of the community.
5	Individuals or group of persons who are political office holders and have significant responsibilities toward community members within the project area.	This group of individuals is collectively responsible for the political and general socio-economic development of the communities among others within their respective political zones.

Level / strategies of Stakeholder Engagement

The extent of stakeholders' involvement was based on the relevance or significance of the impacts. The affected persons were more consulted to appreciate their concerns and views about the project and others for their opinions regarding ensuring sustainability of the project.

The consultation process enables information sharing about the ongoing project, its components and its activities, with affected people, and of which information about the needs of the PAPs and their reactions towards proposed activities were obtained. This ensures transparency in all activities related to land acquisition and compensation payments procedures. Furthermore, especially with the PAPs, One-to-one meeting was used during the census survey of the socio-economic activities along the project corridors.

Community Consultations

All consultations in the period of the consultancy were initiated by the Consultant and established by the SPMU. The direct involvement and active participation of relevant stakeholders and the local level people in the planning and management processes of the project, guarantees that any potential disharmonious issues will be resolved swiftly. Also, there will be maximization of resource use, increased benefits and expanded opportunities for the communities in the project area.

Community participation will certainly help improve understanding of the project and communication between the SPMU, the contractors and the community. The decision-making process for the project will be enhanced by actively involving relevant stakeholders, especially the project affected persons and organizations with stakes in the project.

Summary of Consultations held

Initial consultation during the preliminary site visit

The first consultation process was carried out on 2nd of March, 2020 at Iguosa community town hall during the preliminary site visit. The community Association representatives, members of the site committee, likely Project Affected Persons, Women and Youth Leaders as well as representative from EDO-NEWMAP were all in attendance and were engaged in a public forum during the visit. This served as the first point of entry as Stakeholder engagement and consultation is highly critical for the success of rehabilitation of the erosion.

The consultant communicated with the stakeholders the essence of conducting the Resettlement study, and their perception on the proposed Gully erosion rehabilitation works was sought. Important information necessary for facilitating a smooth and successful RAP study such as; the need to set up a site committee, a Grievance Redress committee, need for maximum cooperation from PAPs during Inventory taking, was also pointed out.

The community members fully accepted the project and promised to give their maximum cooperation. A date was fixed for the General / Public consultation.



Figure 24 Initial Consultation with representatives from the community

The meeting was held on 4th of March, 2020 at the community town hall. All likely Project Affected Persons were fully represented, as well all other relevant stakeholders.

During the meeting, the Consultant presented the general overview of the project and the RAP exercise to the various stakeholder present. It is important for the PAPs to have a say in the resettlement options as it affects them directly. The general briefing includes communicating vital information to them including the step by step project activities during the data collection and survey process. Information was also given to PAPs about their rights and choices about the Bank's policy, objectives and principles; impacts to be covered by the RAP; required measures to be taken by the project; the processes to be followed for filing complaints and seeking remedy and eligibility criteria. In addition, matters discussed included compensation and matters relating to land release should in case they are willing to forfeit the land. The consultant pointed out that there could be re-adjustment of compensation in cases where impact on an affected property is minimal and can be avoided. In other words, the study seeks to minimize impact in every possible way.

A key point that was mostly pointed out was the fact that the compensation will be carried out for the members who have been affected, and whose properties were captured within the 15m setback from the gully mouth before the cut-off date. In other words, no compensation will be given to any member of the community who erects a structure close to the gully site after the cut-off date.

The PAPs were encouraged to come out with the necessary identification documents for capturing and



documentation during the Inventory taking. They were also advised to give their maximum cooperation to the enumerators who will be coming to get their personal information and socio-economic data regarding the project. As such, the PAP's and stakeholders assured that they will give their maximum cooperation during the project's duration.

Information on table below provides summary of minutes of the stakeholder's consultation, the questions followed by appropriate responses provided to the raised issues and concerns.

CONCERN RAISED	FEEDBACK FROM THE CONSULTANT	REMARKS
Figure 25 Public stakeholders' consultation with PAPs and other Iguosa community members		
Mrs Amina Nwangele, member of the site committee asked if there could be a representative for any PAP who may be absent during the capturing process.	Every project affected person is expected to be present during the Inventory-taking process.	
Mr Clement Peter, a community member, enquired about those who do not live around the community but have affected properties along the gully corridor	The Consultant urged the community members to contact the PAPs who do not live around the community. It is expected that every owner of a property be available. However, in cases where they can't make it to the meeting, it is expected they send in their identification details and photograph to a family member or relative who can stand for them.	
Mr Kenneth, a PAP, asked about the type of identification required for the Inventory process	Every PAPs should present either of a valid National I.D card, Driver's license, Voter's card or International Passport.	It is very Important to present a valid Identification card, as failure to do so will lead to no compensation for the Individual.
Mr. Odia, the site Committee secretary, enquired about the start-date and the cut-off date so as to contact owners of affected properties who are not around.	The Start date was agreed to be on the 5 th of March, 2020, while the cut-off date would be on the 09 th of march, 2020.	

<p>Mr. Joshua Agbola, a Community member asked how the Consultant will be able to have a well and definite clarification of the actual owner of a property.</p>	<p>The site committee representatives would help to ensure that every property claim is true. Also, rightful owners of affected properties are encouraged to be present.</p>	
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Consultation with the Women group

The Consultant had a separate consultation with the women group present during the meeting. Mrs. Amina Nwangele, the women leader and member of the site committee spoke on behalf of the other women. She stated that the women have fully accepted the project, and they hope to get compensated



Figure 27 Consultation with Women group



Figure 26 Consultation with Women Group (Iguosa Erosion RAP baseline studies March, 2020)

too in cases where they are affected. Collectively, they were concerned about being displaced during construction works as they do not want to relocate from the community they are already used to. Their concerns were taken note of, and they were assured to have the most minimal negative impact from the project.

CHAPTER FIVE:

POLICY LEGAL AND REGULATORY FRAMEWORK

Introduction

A number of national and international environmental guidelines are applicable to the operation of the NEWMAP. The policy and regulatory frameworks discussed in this section will guide the preparation of this RAP.

The Resettlement Policy Framework (RPF) for the NEWMAP

The Resettlement Policy Framework (RPF) was prepared as a guide to set out the general terms under which land acquisition/encroachment, and/or any form of involuntary displacement of persons from the land or right of way of the project can take place, to comply with the World Bank Operational Policy (OP4.12-Involuntary Resettlement).

The RPF specified that during implementation stage and following the identification of sub- projects and sites for the developments, individual resettlement action plans should be prepared that must be consistent with the provisions of the RPF. It also provided a generic process for the preparation of resettlement plans.

The RPF specified that in addressing impacts, resettlement plans must include measures to ensure that the displaced persons are:

- Informed about their options and rights pertaining to resettlement;
- Consulted on, offered choices among, and provided with technically and economically feasible resettlement alternatives;
- Provided prompt and effective compensation at full replacement cost for losses of assets and access attributable to the project;
- Enabled to restore and preferably improve their living standards compared to the pre-project Condition.

In the overall, a major objective of the RPF was to ensure that PAPs are meaningfully consulted, participated in the planning process and are adequately compensated to the extent that at least their pre-displacement incomes have been restored and in a fair and transparent process.

The RPF specified that occupants who must be displaced will be moved at minimum cost and at short distance as possible. It also states that occupants who must be moved will be assisted physically by inclusion of preparatory site work in the works programme of the contractor and/or by payments to move shops and items of livelihoods to alternative locations. It also recommended the setting up of a dispute

resolution mechanism that will address complaints and grievances that may emanate from the resettlement or compensation process.

The preparation of this Resettlement plan is consistent with the guidelines and recommendations of the RPF of NEWMAP, which is also found to be in agreement with the guidelines of the World Bank OP4.12.

Relevant Nigeria Acts and Legislations

Land Use Act of 1978 and Resettlement Procedures

The Land Use Act, Cap 202, 1978 Laws of the Federation of Nigeria is the applicable law regarding ownership, transfer, acquisition and all such dealings on Land. The provisions of the Act vest every Parcel of Land in every State of the Federation in the Executive Governor of the State. He holds such parcel of land in trust for the people and government of the State. The Act categorized the land in a state to urban and non-urban or local areas. The administration of the urban land is vested in the Governor, while the latter is vested in the Local Government Councils. At any rate, all lands irrespective of the category belongs to the State while individuals only enjoy a right of occupancy as contained in the certificate of occupancy, or where the grants are “deemed”.

Thus, the Land Use Act is the key legislation that has direct relevance to resettlement and compensation in Nigeria. Relevant Sections of these laws with respect to land ownership and property rights, resettlement and compensation are summarized in this section.

The Governor administers the land for the common good and benefits of all Nigerians. The law makes it lawful for the Governor to grant statutory rights of occupancy for all purposes; grant easements appurtenant to statutory rights of occupancy and to demand rent. The Statutory rights of Occupancy are for a definite time (the limit is 99years) and maybe granted subject to the terms of any contract made between the state Governor and the Holder.

Local governments may grant customary rights of occupancy to land in any non-urban area to any person or organization for agricultural, residential, and other purposes, including grazing and other customary purposes ancillary to agricultural use. But the limit of such grant is 500hectares for agricultural purpose and 5,000 for grazing except with the consent of the Governor. The local Government, under the Act is allowed to enter, use and occupy for public purposes any land within its jurisdiction that does not fall within an area compulsorily acquired by the Government of the Federation or of relevant State; or subject to any laws relating to minerals or mineral oils.

Requirements of the Land Use Act

The State is required to establish an administrative system for the revocation of the rights of occupancy, and payment of compensation for the affected parties. So, the Land Use Act provides for the establishment of a Land Use and Allocation Committee in each State that determines disputes as to compensation payable for improvements on the land (Section2 (2) (c)).

In addition, each State is required to set up a Land Allocation Advisory Committee, to advise the Local Government on matters related to the management of land. The holder or occupier of such revoked land is to be entitled to the value of the unexhausted development as at the date of revocation (Section 6) (5). Where land subject to customary right of Occupancy and used for agricultural purposes is revoked under the Land Use Act, the local government can allocate alternative land for the same purpose (section 6) (6).

If local government refuses or neglects within a reasonable time to pay compensation to a holder or occupier, the Governor may proceed to effect assessment under section 29 and direct the Local Government to pay the amount of such compensation to the holder or occupier. (Section 6) (7).

Where a right of occupancy is revoked on the ground either that the land is required by the Local, State or Federal Government for public purpose or for the extraction of building materials, the holder and the occupier shall be entitled to compensation for the value at the date of revocation of their unexhausted improvements. Unexhausted improvement has been defined by the Act as:

Anything of any quality permanently attached to the land directly resulting from the expenditure of capital or labour by any occupier or any person acting on his behalf, and increasing the productive capacity the utility or the amenity thereof and includes buildings plantations of long-lived crops or trees, fencing walls, roads and irrigation or reclamation works, but does not include the result of ordinary cultivation other than growing produce.

Developed Land is also defined in the under **Section 50 (1)** as follows:

Land where there exists any physical improvement in the nature of road development services, water, electricity, drainage, building, structure or such improvements that may enhance the value of the land for industrial, agricultural or residential purposes.

It follows from the foregoing that compensation is not payable on vacant land on which there exist no physical improvements resulting from the expenditure of capital or labour. The compensation payable is the estimated value of the unexhausted improvements at the date of revocation.

Payment of such compensation to the holder and the occupier as suggested by the Act is confusing. Does it refer to holder in physical occupation of the land or two different persons entitled to compensation perhaps in equal shares? The correct view appears to follow from the general tenor of the Act. First, the presumption is more likely to be the owner of such unexhausted improvements. Secondly, the provision of **section 6 (5)** of the Act, which makes compensation payable to the holder and the occupier according to their respective interests, gives a pre-emptory directive as to who shall be entitled to what.

Again, the Act provides in **section 30** that where there arises any dispute as to the amount of compensation calculated in accordance with the provisions of **section 29**, such dispute shall be referred to the appropriate Land Use and Allocation Committee. It is clear from **section 47 (2)** of the Act that no further appeal will lie from the decision of such a committee. The Act must, in making this provision, have proceeded on the basis that the committee is a distinct body quite different from the Governor or the

Local Government. It is submitted, however, that it will be difficult to persuade the public that this is so since the members of the committee are all appointees of the Governor.

Where a right of occupancy is revoked for public purposes within the state of the Federation; or on the ground of requirement of the land for the extraction of building materials, the quantum of compensation shall be as follows:

- In respect of the land, an amount equal to the rent, if any, paid by the occupier during the year in which the right of occupancy was revoked.
- In respect of the building, installation or improvements therein, for the amount of their placement cost of the building, installation or improvements to be assessed on the basis of prescribed method of assessment as determined by the appropriate officer less any depreciation, together with interest at the bank rate for delayed payment of compensation. With regards to reclamation works, the quantum of compensation is such cost as may be substantiated by documentary evidence and proof to the satisfaction of the appropriate officer.
- In respect of crops on land, the quantum of compensation is an amount equal to the value as prescribed and determined by the appropriate officer.

Where the right of occupancy revoked is in respect of a larger portion of land, compensation shall be computed in respect of the whole land for an amount equal in rent, if any, paid by the occupier during the year in which the right of occupancy was revoked less a proportion calculated in relation to the area not affected by the revocation; and any interest payable shall be assessed and computed in the like manner. Where there is any building installation or improvement or crops on the portion revoked, the quantum of compensation shall follow as outlined above and any interest payable shall be computed in like manner.

Forestry Act

This Act of 1958 provides for the preservation of forests and the setting up of forest reserves. It is an offence, punishable with up to 6 months imprisonment, to cut down trees over 2ft in girth or to set fire to the forest except under special circumstances. Nigeria is at present a wood deficit nation. In order to ameliorate the situation, the policy on forest resources management and sustainable use is aimed at achieving self-sufficiency in all aspects of forest production through the use of sound forest management techniques as well as the mobilization of human and material resources. The overall objectives of forest policy are to prevent further deforestation and to recreate forest cover, either for productive or for protective purposes, on already deforested fragile land.

Specifically, the National Agricultural Policy of 1988 in which the Forestry Policy is subsumed, provides for:

- Consolidation and expansion of the forest estate in Nigeria and its management for sustained yield.
- Regeneration of the forests at rates higher than exploitation.
- Conservation and protection of the environment viz: forest, soil, water, flora, fauna and the protection of the forest resources from fires, cattle grazers and illegal encroachment.
- Development of Forestry industry through the harvesting and utilization of timber, its derivatives and the reduction of wastes.

- Wildlife conservation, management and development through the creation and effective management of national parks, game reserves, tourist and recreational facilities, etc.

State Legislations

The relevant state ministry is the Edo State Lands Bureau, and Ministry of Physical Planning and Urban Development. Some of the functions of the State Ministry include taking up responsibility for all form of land policies within the state. It gives advices to the government on land tenure issues, and also manages government land and properties. The Ministries are also tasked with administrative rights to land use decree, urban development, city and town rejuvenation.

International Guidelines

International Development Partners/Agencies such as World Bank and other financial organizations interested in development projects highly recognize compliance with their policies and guidelines especially in development that result in involuntary resettlement. It is against this background that policies and guidelines have been set for managing such issues.

The World Bank's policy on involuntary resettlement will be applied in any sub-project of the NEWMAP that displaces people from land or productive resources due to land take. Where there is conflict between national legislation and World Bank Operational Policies, the latter policies shall prevail.

Relevant World Bank Safeguards Policy

Involuntary Resettlement (OP/BP 4.12)

This policy can be triggered if the project will involve involuntary taking of land and involuntary restrictions of access to property, protected areas, etc. The policy aims to avoid involuntary resettlement to the extent feasible, or to minimize and mitigate its adverse social and economic impacts including to appropriately compensate were its feasible for envisaged loses. It promotes participation of displaced people in resettlement planning and implementation. The main objective of this policy is to assist displaced persons in their efforts to improve or at least restore their incomes and standards of living after displacement. The policy prescribes compensation and other resettlement measures to achieve its objectives and requires that borrowers prepare adequate resettlement planning instruments prior to Bank appraisal of proposed projects.

Physical Cultural Heritage OP 4.11

This policy is to assist countries to avoid or mitigate adverse impacts of development projects on physical cultural resources. For purposes of this policy, "physical cultural resources" are defined as movable or immovable objects, sites, structures, groups of structures, natural features and landscapes that have archaeological, paleontological, historical, architectural, religious, aesthetic, or other cultural significance. Physical cultural resources may be located in urban or rural settings, and may be above ground, underground, or underwater. The cultural interest may be at the local, provincial or national level, or within the international community.

Natural Habitats (OP/BP 4.04)

Any project or sub-project with the potential to cause significant conversion (loss) or degradation of natural habitats, whether directly (through construction) or indirectly (through human activities induced by the project).

Forests (OP 4.36)

This operational policy aims to reduce deforestation, enhance the environmental contribution of forested areas, promote afforestation, reduce poverty, and encourage economic development. The policy recognizes the role forests play in poverty alleviation, economic development, and for providing local as well as global environmental services. Success in establishing sustainable forest conservation and management practices depends not only on changing the behavior of all critical stakeholders, but also on a wide range of partnerships to accomplish what no country, government agency, donor, or interest group can do alone.

This policy applies to the following types of Bank financed investment projects:

- a. Projects that have or may have impacts on the health and quality of forests;
- b. Projects that affect the rights and welfare of people and their level of dependence upon or interaction with forests;
- c. Projects that aim to bring about changes in the management, protection, or utilization of natural forests or plantations, whether they are publicly, privately, or communally owned.

The World Bank Principles and Procedures of Resettlement adopted in this RAP

The Bank's policy on Involuntary Resettlement advocates that where feasible, involuntary resettlement should be avoided or minimized. Resettlement shall be conceived and executed as a sustainable development program, where it is inevitable, providing sufficient investment resources to enable persons displaced by the project share in project benefit.

Persons displaced shall be:

- Duly consulted and should have opportunity to participate in the planning and execution of the resettlement;
- Compensated for their losses at full replacement cost prior to civil works;
- Assisted with moving their valuables and supported during the transitional period in the resettlement site;
- Assisted in their effort to improve their former living standards, income earning capacity and production levels or at least to restore them

For the proposed gully erosion site rehabilitation, which will also involve civil works, the World Bank required the preparation of a Resettlement Action Plan, which will guide in the execution of a sustainable resettlement or compensation process for all the PAPs.

Gap analysis – Nigerian legislation for expropriation and World Bank Safeguard Policies

The gap between the World Bank policy on resettlement and Nigeria Land use act is explained in this section. Whereas the law relating to land administration in Nigeria is wide and varied, entitlements for payment of compensation are essentially based on right of ownership. The Bank’s OP4.12 is fundamentally different from this and states that affected persons are entitled to some form of compensation whether or not they have legal title if they occupy the land by an announced cut-off date.

The Nigeria Land Use Act and World Bank Safeguards Policy OP/BP4.12 agree that compensation should be given to PAPs in the event of land acquisition and displacement of persons prior to the commencement of works. Thus, all land to be acquired by the government for this project will be so acquired subject to the Laws of Nigeria and the Bank’s OP4.12.

Table 5 Gap analysis

Category	Nigerian Law	World Bank OP4.12	Measures to Filling the Gaps
Minimization of resettlement	No requirement to consider all options of project design in order to minimize the need for resettlement or displacement	Involuntary resettlement should be avoided where feasible, or minimized, exploring all viable alternative project designs	Design of footprints of project-related activities, particularly commercial farmland, will be undertaken so as to minimize resettlement.
Information and Consultation	It’s lawful to revoke or acquire land by the governor after issuance of notice. No consultation is required.	PAPs are required to be meaningfully consulted and participate in the resettlement process	PAPs shall be meaningfully consulted and engaged in the resettlement process
Timing of Compensation	The law is silent on timing of payment	Compensation implementation to take precedence before construction or displacement	Compensation and resettlement implementation to take place before construction or displacement
Livelihood restoration	Makes no proscription on livelihood restoration measures	Requires that vulnerable PAPs be rehabilitated	Livelihood restoration measures will be put in place for vulnerable PAPs

Category	Nigerian Law	World Bank OP4.12	Measures to Filling the Gaps
Grievance Process	The land use and allocation committee appointed by the Governor is vested with all disputes/grievances and compensation matters	Requires that a grievance redress mechanism be set early constituting the representative of PAPs and, prefers local redress mechanism. The law court is the last resort when available mechanism or outcome is unsatisfactory to PAP	A grievance redress committee (GRC) shall be established early and existing local redress process shall be considered to address issues of project-induced grievances. PAPs or their representatives shall be members of the GRC.
Owners of economic trees and crops	Compensation for an amount equal to the value as prescribed by the appropriate officer of the government	Compensation for the market value of the yield plus the cost of nursery to maturity (for economic tree) and labour	Compensation for the market value of the yield plus the cost of nursery to maturity (for economic tree) and labour
Community land with customary right	Compensation in cash to the community, chief or leader of the community for the benefit of the community	Land for land compensation or any other in-kind compensation agreed to with the community	Land for land compensation or any other in-kind compensation agreed to with the community
Agricultural land	Entitled to alternative agricultural land	Land for land compensation	Land for land compensation
Fallow land	No compensation	Land for land compensation subject to land holding right	Land for land compensation subject to land holding right
Statutory and customary right Land Owners	Cash compensation equal to the rent paid by the occupier during the year in which the right of occupancy was revoked	Recommends land-for-land compensation or other form of compensation at full replacement cost.	Recommends land-for-land compensation or other form of compensation at full replacement cost.

Category	Nigerian Law	World Bank OP4.12	Measures to Filling the Gaps
Land Tenants	Entitled to compensation based upon the amount of rights they hold upon land.	Are entitled to some form of compensation whatever the legal recognition of their occupancy.	Are entitled to some form of compensation whatever the legal recognition of their occupancy.
Squatters settlers and migrants	Not entitled to compensation for land but entitled to compensation for crops.	Are to be provided resettlement assistance in addition to compensation for affected assets; but no compensation for land	Are to be provided resettlement assistance in addition to compensation for affected assets; but no compensation for land
Owners of “Non-permanent” Buildings	Cash compensation based on market value of the building (that means depreciation is allowed)	Entitled to in-kind compensation or cash compensation at full replacement cost including labour and relocation expenses, prior to displacement.	Entitled to in-kind compensation or cash compensation at full replacement cost including labour and relocation expenses, prior to displacement.
Owners of “Permanent” buildings, installations	Resettlement in any other place by way of reasonable alternative accommodation or Cash Compensation based on market value.	Entitled to in-kind compensation or cash compensation at full replacement cost including labour and relocation expenses, prior to displacement.	Entitled to in-kind compensation or cash compensation at full replacement cost including labour and relocation expenses, prior to displacement.

This exercise will be carried out in conformity with the World Bank’s Operational Policies including Involuntary Resettlement Policy which indicate best practices for restoration of livelihoods of people affected by the rehabilitation of the gully sites.

Conclusion Drawn from the Review of World Bank Policies on Involuntary Resettlement

Review of the different policy guidelines of the World Bank(OP/BP4.12) shows that primarily, the World Bank agree that PAPs be compensated or assisted irrespective of legal status of PAPs to the land/or place

they occupy. The key concern articulated in this policy is to ensure that PAPs are compensated or assisted including income restoration measures to ensure that they are not economically worse-off relative to pre-project period.

CHAPTER SIX:

IDENTIFICATION OF PROJECT IMPACTS AND PROJECT AFFECTED PERSONS

The team went around the Gully corridor to establish the level of impact the rehabilitation activities will have on the host environment with a representative from the community who assisted in taking the team round the gully areas.

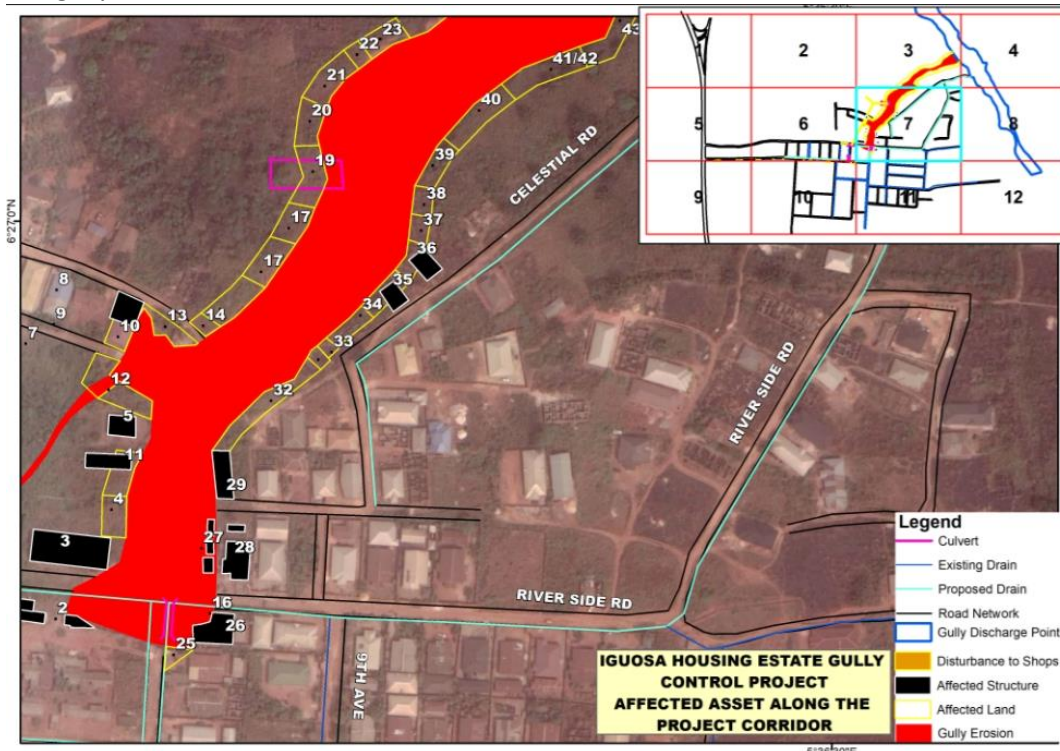


Figure 28 Map Showing affected Assets (Iguosa RAP studies, March, 2020)

Impact Reduction Measures Undertaken

The following steps were used for preparation of this RAP for Edo State NEWMAP PMU and are envisaged to result in the reduction of adverse impacts of the project:

- Consulting/communicating with the PAPs and Leaders of Iguosa FHE on the proposed rehabilitation and reclamation works on the gully erosion site. This will give them the opportunity to fully own and assist in any way for sustainable project during this period.
- The setback from the gully was made known to the stakeholders to be 10 to 15 meters and that in the event of work in such locations all affected properties are to be removed by their owners to give the required right of way for the work.
- Businesses that might be disrupted during the work along the areas where drainage is to be expanded were captured for disturbances.
- It is proposed that civil works should be carried out in phases so that businesses owners will not suffer much lose due to continue blockage of their premises. Also, movement of construction

equipment should be restricted to areas allowed for them in other not to destroy more assets as envisaged during this period.

- The design of the canals and drainage networks was such that will enable avoidance as much as possible of structures while maintaining the sizes of the drainage as described in the engineering design.

In spite of the outlined impact reduction measures above, mitigation measures have also been clearly prepared in this document, which is in line with the World Bank policy (OP 4.12) on involuntary resettlement to ensure that those who must suffer economic impacts are restored to the pre-project state.

Temporary and Permanent Land acquisition along the corridor

The erosion site rehabilitation activities are envisaged to acquire new land. Also space may be required to serve as camp, where equipment and materials will be stored and used. This will be minimal and shall be taken care of by the contractor. This Land acquisition will be temporary and will only serve till the end of the project after which it reverts back to the original owners. Other contingencies as a result of the rehabilitation works shall be taking care of in the mitigation measures.

Positive Impacts of the project

The Erosion control project will have a lot of beneficial impacts to the community. This include but not limited to termination/control of flood that is usually experienced after heavy downpours, reduced loss of infrastructure (e.g. houses), reduced loss of agricultural land and productivity from soil loss caused by surface erosion, provision of good drainage, improved sanitation, reduction of water borne and water related diseases. The project will also progressively restore vegetative cover, improve environmental conditions and more humid local microclimates resulting in increased vegetation cover for wildlife and carbon sequestration thereby improving the Environment through land stabilization measures which preserve the landscape and biodiversity.

Negative Impact of the Project

Assets shall be displaced by the proposed intervention work. Depending on the amount of land space needed for the work at the given locations along the corridor (5-10m ROW), the assets that could be affected have been identified and an inventory of the assets as well as the PAPs taken and are summarized in the Annex. The table below shows the number of PAPs and their assets or means of livelihood to be affected. This does not give total number of Project Affected Persons because one PAP can possess more than one item as shown in the entitlement list.

Table 6 Showing Assets to be affected and number of PAPs involved

ITEM	NUMBER OF PAPS
Land Space	39
Physical relocation of buildings	22
Cash crops	9
Economic Trees	13
Loss of Business (Inconvenience)	39
Vulnerable	2
Graves	3
Shrine	2

Project impacts

The field visits showed that significant relocation or adjustment of business premises, demolition of few structures and removal of some vegetation (economic trees and cash crops) is certain during the rehabilitation exercise. The list of assets and means of livelihood to be affected and the degree of impact is documented in the entitlement list (see the entitlement section).

Loss of Land

As stated in the engineering design, the rehabilitation activities will require excavation and taking of some portions of individual lands for construction works. However, most drainages and flow channels will be rectangular channels which are mostly open but will only be covered where there is provision for access way. Thirty-Nine (39) persons will lose access to their land during the civil works; this is as a result of their structures either partly or wholly located within the proposed ROW. The total size of land to be acquired is 16,712m². The list of person's portions of land to be taken has been documented in the Valuation section.

Loss of Structures

Some structures will be removed entirely others might be adjusted so as to accommodate the rehabilitation work to be done. The total number of buildings that are likely to be affected is Twenty-Three (23) which include Six (6) buildings in foundation level with either part caved into the gully, Fourteen (14) are already on Lintel level with some of them partly caved in and while the remaining Three buildings

are completed structures with occupants. These uncompleted buildings are seriously threatened forcing the owners to abandon them to rented apartments within and outside the estate.

Loss of other means of livelihood

It was discovered that during the construction works Farms will be destroyed and some shops will experience low patronage due to disruption or blockage of their premises. The list of persons to be affected in this category is included in the entitlement list.

Loss of Economic plants and Cash Crops

Economic trees and Cash crops especially those planted along the existing ROW will be removed during the rehabilitation exercise. About 22 persons will be affected in this category.

Loss of Utilities

No utility both private and government owned was seen within the gully corridor.

Loss of Cultural Property

The OP 4.11 provides for physical cultural resources management plan that measures to avoid or mitigate any adverse impacts on physical cultural resources management of chance finds, any necessary measures for strengthening institutional capacity for the management of physical cultural resources a monitoring system to track the progress of these activities.

Three (3) Graves and Two (2) Traditional worship centers were discovered during the field work and the cost to exhume and relocate them was agreed upon with the persons affected. The copy of list of items for this relocation is in the annex.

Impact on Vulnerable Group

Two vulnerable persons were identified among the PAPs a Widow and an orphan. Their names and particulars of these persons are attached in the annex.

Cut-Off Date

The cut-off date for being eligible for compensation and/ or resettlement assistance was 09th of March. 2020. The members of the estate were duly informed about the significance of the cut-off date in the implementation of this RAP in the meeting.

Census of Project Affected Persons (PAPs)

Census of PAPs was carried out based on the methodology described in Chapter 1. The outcome shows that **81 persons** will be potentially impacted/suffer socio-economic losses as a result of sub-project activities. The census register for the RAP describes the names of PAPs, means of identification/contact and affected items as shown in the annex.

Analysis of Impacts and Income Restoration Measures for Vulnerable Group/PAPs

Two Vulnerable persons were identified during the field work, a Widow and an Orphan. Their details were duly captured in the entitlement list.

The objective of income restoration measures for the vulnerable persons is to ensure that they are reasonably assisted to overcome potential economic shock from the project and maintain the quality of life not less than their pre-project state because; they are at higher risk than others based on their vulnerability disadvantage. The kind/cash assistance for vulnerable group and PAPs in general shall be administered by the proponent through the resettlement committee or through NGOs in consultation with the PAPs. To ensure that income restoration measures are effective all the articulated resettlement measures will be carried out prior to the project implementation.

The income restoration plan (skill acquisition, assistance) to vulnerable PAPs shall be funded through the amount to be set aside for administration within the resettlement budget. This fund will be set aside by the Edo NEWMAP through its counterpart responsibility to project's due diligence and shall preferably be operated/administered by the resettlement committee/NGO to be appointed and supervised by the PMU during RAP implementation.

Performance Indicator for Assessing Income Restoration

Performance indicators and monitoring are important in evaluating the progress and effectiveness of the resettlement plan as well as the income restoration measures. The monitoring indicators, which provide the basics for requirement of RAP income restoration process is discussed in details in Chapter twelve and in annex 2.

Positive results or improvement over the baseline conditions will be indicative of track record consistent with the objective of resettlement plan while performances below the baseline conditions indicate failure of the resettlement plan from meeting the desired objectives. In this case, the safeguard officer are expected to report to the SPMU early and offer ways for improvement/modification of the restoration measures.

For successful implementation of the resettlement plan, PAPs must be given prior orientation, perhaps during the training and enlightenment workshop and must be informed that there will be periodic monitoring of their activities.

CHAPTER SEVEN

VALUATION METHODOLOGY

Valuation of assets to be affected by the implementation of the project was conducted using a general principle adopted in the formulation of the compensation valuation, which follows the World Bank policy that lost income and asset will be valued at their full replacement cost such that the PAPs should experience no net loss.

The asset valuation was conducted based on the current market prices in the project area. For some materials, prices vary on the basis of quality, taste and product brand. Therefore, in such cases the average market price plus 2% price flexibility adjustment was used for the valuation. Below is the outcome of the market survey carried out in Benin City, Edo State, in March 2020.

Table 7 Market Survey

Category	Materials	Unit	Amount (Naira)	
Structures (Building, balcony, Fence, Wall, Pavement)	Wooden Frame (Window)	1 No	₦ 5,000	
	Cement	1 bag	₦ 2,600	
	Metal Doors (Single)	1 No	₦ 25,000	
	Wooden Door	1 No	₦ 12,000	
	Corrugated iron sheet	10mm		₦ 1500
		12mm		₦ 2100
		16mm		₦ 3500
	Aluminum Zinc	1 m ²	₦ 1,500	
	Almaco Window 4x4 P	1 m ²	₦ 14,000	
	Door Protector		₦ 8,000	
Block (9")	1 m ²	₦ 250		
	6"		₦ 180	

	Wood/plank 2x2	1 piece	₦ 700
	2x4		₦ 1200
	2x3		₦ 1100
	3x4		₦ 1700
	Nails	1 bag	₦ 10,000
	Iron rod	1 piece	₦ 1450
	Sharp Sand (6tyres)		₦ 23,000
	Plaster Sand		₦ 23,000
	Gravel (one quarter)		₦ 100,000
LANDSPACE		1m ²	₦ 1650
Truck Hire within the city			₦ 10,000
Labour cost: Mason, Carpenter, etc		1 artisan Per day	₦ 4,500/ N 2,000
Currency exchange rate (March. 2020): ₦365: \$1			

S/N	Plant	Cost/Measurement (N)	Spacing
1.	MANGO	5,000.00/bag	1 stand/4m ²
2.	COCOANUT	30,000.00/stand	1 stand/1.4m ²
3.	PALM TREE	12,000.00/stand	1 stand/1.4m ²
4.	PLANTAIN	1500.00/head	1 stand/1.4m ²
5.	CASSAVA STANDS	5,500.00/heap	1 heap/8m ²
6.	PINEAPPLE	400.00/head	1 stand/1m ²
7.	BITTERLEAF	400.00/stand	1 stand/2m ²
8.	SCENT-LEAF	400.00/stand	1 stand/2m ²
9.	FRUITED PUMPKIN	400.00/stand	1 stand/2m ²

Source: Market Survey, Benin City, March, 2020

Valuation Method for Land Property

In line with OP4.12 of the World Bank on involuntary resettlement as stated in the entitlement matrix, land for land entitlement is prescribed. In so doing, it is also important to take into cognizance the size of the land and location since these two variables are determinants of value of land property. This was discussed with the Land owners and they preferred Cash to acquire another space elsewhere.

Replacement Cost Method for Assets/Structures

The Traditional Replacement Cost Method was used in estimating the value of the property/structure and is based on the assumption that the capital value of an existing development can be equated to the cost of reinstating the development on the same plot at the current labour, material and other incidental costs. The estimated value represents the cost of the property as if new.

The Damage Loss Assessment Method is used in this study to determine compensation for economic trees and agricultural products. This method states that market value of yield per tree for the current season (agricultural season) and cost of re-planting and nursery should be used to determine the compensation rate for the economic tree. A sample table used for arriving this compensation is in the annex.

Disturbance and Other Incidental Contingencies

Business premises or entrances will be partially or entirely blocked during the expansion works on the Right Hand Drains along the Central Road of Iguosa Housing Estate from the starting point to the end of the road. Thirty-Nine (39) Persons who has their means of livelihood along this road were identified as eligible for disturbance allowance due to envisaged obstruction of their businesses as earlier stated.

The disturbance allowance was arrived at using the following mathematical assumption; $BI = T \times Q \times V$, where T= Number of days of obstruction

Q= Quantity of goods sold each day

V= Interest Value on each goods

Allowance for each business has been factored into the full compensation and details are shown in Chapter 8.

PAPs Losing Permanent Structures-for Residential (immoveable structures)

Structures and other assets including balconies, walls, fences, and pavements on the ROW of project corridor are categorized as immoveable/permanent structures. Contractors are advised to try and avoid demolition if possible. Where demolition of these structures cannot be avoided, census of PAPs has been taken for resettlement/compensation.

PAPs under this category will be resettled or compensated for the value of the structure to be displaced based on the prevailing market value of the structure. Demolition/clearing of structures to secure the ROW will take place at least two (2) weeks to the period of implementation after PAPs would have been compensated.

Proof of Eligibility

Project Affected Persons (PAPs) will present any of the following; Nigerian Voter's Card, Driver's license, Nigerian National Identity Card and International Passport as their form of identification which will be cross-checked with the Name, Passport photograph and Phone number in the Entitlement list by the Resettlement Committee and NGO in-charge of compensation payment. In case of lose or misplacement, other forms of evidence as proof of eligibility will also be acceptable but limited to the following:

- PAPs with no phone numbers will be identified by their Township or community leader so long as the name being used for claim is one recognized in the census register.

Duration for Civil Works

Estimation of the duration for civil works/rehabilitation completion will be determined by the SPMU and Contractor who will be procured for this. PAPs will not be disturbed in anyway by the project until resettlement program is implemented.

CHAPTER EIGHT

ENTITLEMENTS

The table below shows the compensation due for each project Affected Persons (PAPs) as determined through the method established in chapter 7 and the sample calculation table used in the annex.

Table 8 PAPs Entitlement table

S / N	NAME OF PAP	GENER	PHONE NUMBER	LOCATION	LATITUDE	LONGITUDE	Description OF AFFECTED ASSET FROM THE FIELD	OWNERSHIP STATUS	Land Space (m2)		
1.	Adegbuyi Ruth	F		IGUOSA HOUSING ESTATE	6.4504	5.6057	10x30m Land Space, 1 Well, Building Foundation (Falling 3 Bed Room)	Owner	300		
2.	Agui Benjamin Osazee	M		IGUOSA HOUSING ESTATE	6.4511	5.6061	10x45 Land Space	Owner	450		
	Agui Benjamin Osazee	M		IGUOSA HOUSING ESTATE	6.4495	5.6046	Landscape 10X24, 6 Plantain, 1 COCONUT, 1 GRAVEYARD	Owner	124		
	Agui Benjamin Osazee	M		IGUOSA HOUSING ESTATE	6.4494	5.6058	10x28 land space	Owner	128		
3.	Roseline Igbude	F		IGUOSA HOUSING ESTATE	6.4494	5.6058	Cassava Farm	Owner	128		

4.	Amayonvb Success Omo/ shrine position	F		IGUOSA HOUSING ESTATE	6.4507	5.6071	Cassava Farm, Landscape 10x30	Farme r	300		
5.	Asemota Julius Orobosa	M		IGUOSA HOUSING ESTATE	6.4499	5.6065	10x30 landscape	Farme r	300		
6.	Ayere Nosa Mathew	M		IGUOSA HOUSING ESTATE	6.4501	5.6057	Building Foundation with Landscape 10 x 30	Owne r	300		
7.	Community Chief Priest c/o Joe Obadiaru	M		IGUOSA HOUSING ESTATE	6.4499	5.6056	Shrine	Chief Priest			
8.	Iguosa Community Land c/o Joe Obadiaru (Representing the Odionwere)	M		IGUOSA HOUSING ESTATE	6.4527	5.6089	10X100 Land Space 60 Palm tree	Owne r	1000		
9.	Daniel Agui	M		IGUOSA HOUSING ESTATE	6.4496	5.6051	Land Space 10X30	Owne r	30		

10.	Ebewele Vincent Akamein	M		IGUOSA HOUSING ESTATE	6.4483	5.6045	10X45M, Factory= L82.5. W37.4, 24 PILLARS	Owne r	450		
11.	Ebohon Pullen Agbonghae	M		IGUOSA HOUSING ESTATE	6.4482	5.6053	Affected twin 3 bedroom and 2bedroom Building	Owne r	300		
12.	Edokpolor Lugard Thomas (Farmer)	M		IGUOSA HOUSING ESTATE	6.4505	5.6068	Landscape 10x30 Cassava farm land(Community Land)	Owne r	300		
13.	Edobor Idada	M		IGUOSA HOUSING ESTATE	6.4497	5.6054	10X30M Land Space	Owne r	300		
14.	Effiong Okon Anefionk	F		IGUOSA HOUSING ESTATE	6.4513	5.6077	Landscape 10x41, Cassava Farmland	Owne r	410		

15.	Ewubare Fidelis o	M		IGUOSA HOUSING ESTATE	6.4495	5.6047	10X30 Land Space, Dilapidated 4bedroom uncompleted Building (no roof), 6 Plantain 1 Coconut, 1 Graveyard	Owne r	300		
16.	Falade Sheriff Rafiu	M		IGUOSA HOUSING ESTATE	6.4496	5.6063	10x30 4 Bed Room Dilapideted building (blockwork)	Owne r	300		
17.	Ferdinard Ominiabohs	M		IGUOSA HOUSING ESTATE	6.4483	5.6053	4 bed room 3 parlour kitchen Laundry room and 1 BQ 22 plantain trees	Owne r	300		
18.	Frank Edoghohon Edionkon	M		IGUOSA HOUSING ESTATE	6.4509	5.606	10x30 Land Space	Owne r	300		
19.	Omorogie Ogieriakhi Hilary	M		IGUOSA HOUSING ESTATE	6.4486	5.6053	Landspace 10x30, 19 plantain trees	Owne r	300		

20.	Igiri Christiana	F		IGUOSA HOUSING ESTATE	6.4495	5.6043	Landscape 10x30m, Dwarf building 7rooms	Owner	300		
21.	Ikechukwu magbolu(Farmer)	M		IGUOSA HOUSING ESTATE	6.4502	5.6068	10x30 cassava farm land(Community Land)	Farmer	300		
	Ikechukwu Mogbolu(Farmer)	M		IGUOSA HOUSING ESTATE	6.4512	5.6074	10x60 Pinapple 50 Cassava200(Community Land)	Farmer	600		
	Ikechukwu Mogbolu(Farmer)	M		IGUOSA HOUSING ESTATE	6.4521	5.6095	10x219 Land Space 60 palm tree(Community Land)	Farmer	2190		
22.	Imadojeimu Princewill Oses	M		IGUOSA HOUSING ESTATE	6.4497	5.6045	Landscape 10X30, 2Room /Parlour, 4 Room/Parlour Completed	Owner	300		

23.	Ivbadogiemu Margaret (widow)	F		IGUOSA HOUSING ESTATE	6.4492	5.6058	landspace 10x30, remaining collapsed buiding foundation (10rooms)	Owne r	300		
24.	Jonah Ojoduma	M		IGUOSA HOUSING ESTATE	6.4485	5.6044	3 Flat, 2 bed Room, 2 Bed Room, 4 Bed Room, 1 Soakaway . L74 ,W 16.6,H 4 Landscape 1200	Owne r	1200		
25.	Julius Okehuahesohan	M		IGUOSA HOUSING ESTATE	6.448	5.6043	12x7 m Land Space 2 Room/ Sitting, 1 Tank stand	Owne r	84		
26.	Sanusi Tirimisiyu	M		IGUOSA HOUSING ESTATE	6.4495	5.6061	Landscape 10x30 4 Bed room Dilapidated House	Owne r	300		
27.	Okunrobo	M		IGUOSA HOUSING ESTATE	6.4497	5.6064	Landscape 10x30 3 bedroom	Owne r	300		

							bungalow (blockwork)				
28.	Oluremi Rapheal Famoyin (Orphan)	M		IGUOSA HOUSING ESTATE	6.448	5.6052	Affected dilapidated 4 bed room bungalow, 1 Grave, 1 soakaway, 5 bitter leaf, 6 pineapple 20 plantain	Owne r	300		
29.	Ogbeide Bright	M		IGUOSA HOUSING ESTATE	6.448	5.6052	10.x30 Land Space	Owne r	300		
30.	Orhewere Omogbai Felix	M		IGUOSA HOUSING ESTATE	6.4495	5.6044	Landscape 10X30 2 Bed Room, 1 Sitting	Owne r	300		
31.	Omorogie Edmond Joseph	M		IGUOSA HOUSING ESTATE	6.4493	5.6059	Landscape 10x10	Owne r	100		
32.	Omovie Friday	M		IGUOSA HOUSING ESTATE	6.4488	5.6048	10X30 Land Space	Owne r	300		

33.	Edionseri Marian Osas .E	F		IGUOSA HOUSING ESTATE	6.4495	5.6051	Landscape 10x30 Dilapidated Building, 2 bed room flat, 1Well	Owner	300		
34.	Osondu Henry Chuks	M		IGUOSA HOUSING ESTATE	6.4491	5.6047	Landscape 10X25	Owner	250		
35.	Owadogbon Theophilus	M		IGUOSA HOUSING ESTATE	6.4509	5.6059	10x30 3 Bed Room Uncompleted (only blockwork)	Owner	300		
36.	Ozabor Ehihonghomwen	M		IGUOSA HOUSING ESTATE	6.4478	5.605	5 rooms completed Bungalow, 2 rooms self-contained BQ and 2 rooms uncompleted building, Side Fence 3x3h and 4x3h, 2Palm tree 1 COCONUT	Owner	1000		
37.	Soloking Ukpeigbe	M		IGUOSA HOUSING ESTATE	6.45	5.6066	10x45 landscape	Owner	450		

38.	Umole Innocent	M		IGUOSA HOUSING ESTATE	6.449	5.6048	12.7x9.9m 4 bed room uncompleted 4 Mango 6 plantian	Owne r	125.73		
39.	Unknown 1			IGUOSA HOUSING ESTATE	6.4489	5.6042	Landscape 10X30m	Owne r	300		
40.	Unknown 2			IGUOSA HOUSING ESTATE	6.4505	5.6058	10x30 Land Space	Owne r	300		
41.	Nwokoye Kelvin ude	M		CENTRAL ROAD	6.448	5.6042	12X16M 4 Bed room flat, roofed but dilapidated	Owne r	192		
42.	Agangan Favour	F		CENTRAL ROAD	6.4475	5.6002	Disturbance (petty shop)	Tenan t			
43.	Agie Osahon Akhere	M		CENTRAL ROAD	6.4474	5.6027	Disturbance (Welding shop)	Tenan t			
44.	Akinbiyi boye	F		CENTRAL ROAD	6.4473	5.6042	Disturbance (Carpentry shop)	Tenan t			
45.	Halima Alamu	M		CENTRAL ROAD	6.4475	5.5984	Disturbance (Tailoring shop)	Tenan t			

46.	Best base hotel o/c Chuks Enuma	M		CENTRAL ROAD	6.4474	5.6024	Disturbance (Hotel premises)	Tenan t			
47.	Celestina Omuta	F		CENTRAL ROAD	6.4474	5.602	Disturbance (Tailoring shop)	Tenan t			
48.	Christiana Igiri	F		CENTRAL ROAD	6.4474	5.6028	disturbance to tailoring shop	Tenan t			
49.	E Neb Academy c/o Erabor Benjamin Osasere	M		CENTRAL ROAD	6.4475	5.6019	Disturbance (School Enterance gate)	Tenan t			
50.	Elem Bridget	F		CENTRAL ROAD	6.4474	5.6029	Disturbance (beans cake shop)	Tenan t			
51.	Flora Osagha	F		CENTRAL ROAD	6.4475	5.5984	Disturbance (Provison Shop)	Tenan t			
52.	Endurance Osifo	M		CENTRAL ROAD	6.4475	5.5994	Disturbance (Tailoring shop)	Tenan t			
53.	Erabor Lizzy .K	F		CENTRAL ROAD	6.4475	5.5973	Disturbance of (Medicine shop)	Tenan t			

54.	Evelyn Odiri	F		CENTRAL ROAD	6.4475	5.6007	Disturbance (Petty shop)	Tenant			
55.	Felicia Igbinoghene	F		CENTRAL ROAD	6.4473	5.604	Disturbance (Petty shop)	Tenant			
56.	Friday	M		CENTRAL ROAD	6.4475	5.5973	Disturbance (Electrical Shops)	Tenant			
57.	Gospel	M		CENTRAL ROAD	6.4475	5.5974	Disturbance (Laundry shop)	Tenant			
58.	Igwe Temple	M		CENTRAL ROAD	6.4475	5.5995	Disturbance-Barbing Saloon	Tenant			
59.	Wemimo Adeoye Olaniyan	F		CENTRAL ROAD	6.4475	5.5973	Disturbance (provision Shop)	Tenant			
60.	Jennifer Ekwase	F		CENTRAL ROAD	6.4474	5.603	Disturbance (Hair dressing shop)	Tenant			
61.	Jovita	F		CENTRAL ROAD	6.4475	5.5986	Disturbance (Hair dressing shop)	Tenant			
62.	Joy Ogbewei	F		CENTRAL ROAD	6.4475	5.5974	Disturbance (Hair dressing shop)	Tenant			
63.	Atori Mary	F		CENTRAL ROAD	6.4475	5.5996	Disturbance (Bookshop)	Tenant			

64.	Lauaretta Omoruyi	F		CENTRAL ROAD	6.4475	5.5994	Disturbance (Hair dressing shop)	Tenant			
65.	Mary Onojota	F		CENTRAL ROAD	6.4474	5.6029	Disturbance (Petty shop)	Tenant			
66.	Kingsley Okungbowa	M		CENTRAL ROAD	6.4475	5.5975	Disturbance (Tailoring shop)	Tenant			
67.	Omorogbe Ivie	F		CENTRAL ROAD	6.4475	5.5994	Disturbance (Boutique and provision shop)	Tenant			
68.	Nalu Best Enterprises o/c Chuks Enumah	M		CENTRAL ROAD	6.4475	5.5986	Disturbance (General business)	Tenant			
69.	Patricia Uzi	F		CENTRAL ROAD	6.4474	5.6017	Disturbance (Foodstuff)	Tenant			
70.	Rejoice Johnson	F		CENTRAL ROAD	6.4475	5.5975	Disturbance (Tailoring shop)	Tenant			
71.	Susan Awere	F		CENTRAL ROAD	6.4474	5.6028	Disturbance (Hair dressing shop)	Tenant			
72.	Unknown 1			CENTRAL ROAD	6.4475	5.5984	Disturbance (Electrical Shops)	Tenant			

73.	Unknown 2			CENTRAL ROAD	6.4475	5.5985	Disturbance (Electrical Shops)	Tenant			
74.	Unknown 3			CENTRAL ROAD	6.4475	5.5985	Disturbance (Cosmetics Shops)	Tenant			
75.	Unknown 4			CENTRAL ROAD	6.4474	5.6027	Disturbance (Barbing Saloon)	Tenant			
76.	Unknown 7			CENTRAL ROAD	6.4483	5.6035	Plantain 100, 4 Palm tree, 1 Ugu, Orange , Bitter leaf1 , Scent leave 1	Tenant			
77.	Unknown 6			CENTRAL ROAD	6.4482	5.6039	Disturbance (Tailoring shop)	Tenant			
78.	Uwagboe Destiny	F		CENTRAL ROAD	6.4474	5.602	Disturbance (Tailoring shop)	Tenant			
79.	Uyi Priscilla	F		CENTRAL ROAD	6.4474	5.6028	Disturbance (Tailoring shop)	Tenant			
80.	Victoria Illesanmi	F		CENTRAL ROAD	6.4475	5.5986	Disturbance (Spiritual Store)	Tenant			
81.	Omeoo Shrine C/o Clifford Igiehon	F		IGUOSA HOUSING ESTATE			Shrine				

(Odionwee) Women Shrine										
TOTAL SUM										

CHAPTER NINE

ELIGIBILITY MATRIX

The matrix shows specific and applicable categories of PAPs under this project and types of losses as well as entitlement plan for PAPs. The Entitlement matrix therefore, is the basis for compensation budget, resettlement and income restoration measures to be administered by the proponent. The subsequent section further provides explanation of the entitlement matrix under eligibility criteria for entitlements.

Table 9 Entitlement Matrix Table for PAPs

TYPE OF LOSS	ENTITLED PERSON	DESCRIPTION OF ENTITLEMENT
1. Permanent loss of land 1.1 Cultivable/residential /commercial land	1.1 (a)Legal owners of land (b)Occupancy/Hereditary (c)Tenant	1.1 (a) Land for land compensation is preferred priority, or Cash compensation at replacement value based on market rate plus 10% compulsory acquisition surcharge as second option
2. Damage to land (such as abutting sub-project site) 2.1. By excavation etc. from borrows for earth for construction. 2.2 By severance of agricultural holding	2.1. (a)Legal owner/s (b) Village/s or clan/s with customary ownership 2.2. (a)Legal owner/s (b) Village/s or clan/s with customary ownership	2. 1 (a) & (b) Restoration of land to pre-construction condition or cash compensation at prevailing rates for necessary bulldozer/ tractor hours to restoring level and/or truckloads of earth for fill
3. Loss of income and livelihood 3.1. Temporary loss of access to land for cultivation	3.1.Cultivator occupying land	3.1. Estimated net income for each lost cropping season, based on land record averages of crops and area planted in the previous four years
3.2. Loss of agricultural crops, and fruit and wood trees. 3.3 Loss of income by agricultural tenants because of loss of land they were cultivating	3.2. (a) Owner/s of crops or trees. Includes crops trees owned by encroachers/squatters (b) /tenant	3.2. (a) Cash compensation for loss of agricultural crops at current market value of mature crops, based on average production. Compensation for loss of fruit trees for average fruit

	<p>3.3 Persons working on the affected lands</p>	<p>production years to be computed at current market value.</p> <p>Compensation for loss of wood-trees at current market value of wood (timber or firewood, as the case may be).</p> <p>3.2. (b) Partial compensation to tenants for loss of their crops/trees as per due share or agreement (verbal or written)</p> <p>a) Tree/perennial crops: Harvesting of the crops will be given a first priority but where harvesting is not possible, counting of the affected crops will be done in the presence of the owner. Computation of the costs will be done according to market rates</p> <p>b) Annual crops: Crops will be harvested by the owner and therefore no compensation will be paid for crops. Where crops cannot be harvested, compensation at the market rate will be paid</p>
<p>4. Permanent loss of Structures</p> <p>4.1 Residential and commercial structures</p>	<p>4.1. (a) Owners of the structures whether or not the land on which the structure stands is legally occupied</p> <p>(b) Renters</p>	<p>4.1. (a) Cash compensation for loss of built-up structures at full replacement costs</p> <p>Owners of affected structures will be allowed to take/reuse their salvageable materials for rebuilding/rehabilitation of structure.</p> <p>In case of relocation, transfer allowance to cover cost of Shifting (transport plus loading/unloading) the effects</p>

		<p>and materials will be paid on actual cost basis or on current market rates.</p> <p>(b) One-time cash assistance equivalent to 4months rent moving to alternate premise.</p> <p>Transfer allowance to cover cost of shifting (transport plus loading/unloading) personal effects paid on actual cost basis or on current market rates.</p>
<p>4.2. Cultural, Religious, and community structures /facilities School, church, water channels, pathways, and other community structures/installations</p>	<p>4.2. Community</p>	<p>4.2. Complete rehabilitation/restoration by the Project; or, Cash compensation for restoring affected cultural/community structures and installations, to the recognized patron/custodian.</p>
<p>5. Special provision for vulnerable PAPs</p> <p>5.1. Reestablishing and/or enhancing livelihood</p>	<p>5.1 Women headed households, physically challenged or elderly persons and the landless</p>	<p>5. Needs based special assistance to be provided either in cash or in kind.</p>
<p>5.2 Change in Livelihood for women and other vulnerable PAPs that need to substitute their income because of adverse impact</p>	<p>5.2. (a) Vulnerable PAPs, particularly Women enrolled in a vocational training facility</p> <p>5.2. (b) owner/s whose landholding has been reduced to less than 5 acres</p>	<p>5.2 (a) &(b). Restoration of livelihood (vocational training) and subsistence allowance at agreed rate per day for a total of 6 months while enrolled in a vocational training facility</p>
<p>Unanticipated adverse impact due to project intervention or associated activity</p>	<p>The Project team will deal with any unanticipated consequences of the Project during and after project implementation in the light and spirit of the principle of the entitlement matrix. This is expected to follow the procedure addressed in the GRM section to be enlisted for assistance.</p>	

Description of Eligibility Criteria for Defining Various Categories of PAPs

Based on the World Bank's OP4.12, the following three criteria are recognized:

- a) Those who have formal rights to land or structures (including customary, traditional and religious rights recognized under the Federal and/or State Laws of Nigeria).
- b) Those who do not have formal legal rights to land or structures at the time the census began but have a claim to such land or assets provided that such claims are recognized through a process identified in this resettlement plan
- c) Those who have no recognizable legal right or claim to the land they are occupying, using or getting their livelihood.

Those covered under (a) and (b) above according to the guiding policy are to be provided compensation for the land they lose, and other assistances in accordance with the policy. PAPs covered under (c) above are to be provided resettlement assistance in lieu of compensation for the land they occupy and other assistance, as necessary to achieve the objective of them not being economically worse off because of the development.

Under the World Bank Policy, cash compensation is only appropriate when there is an active market in land or housing and where such assets are actually available for purchase. Communal rights to land and other assets are recognized. Clans, lineages and other community property have been subjected to the same procedures as for privately held land. In such case, the traditional law of the affected community may be taken into account.

Although all PAPs irrespective of their legal rights or not, squatters or otherwise encroaching on land are eligible for some kind of assistance under the policies of the WB, such PAPs must be those captured in the census. In other words, persons that encroach on land/ROW after the cut-off date will not be entitled to any form of assistance or compensation.

CHAPTER TEN

BUDGET AND FINANCING PLAN

Introduction

A detailed inventory of all affected assets provides the basis for estimating the compensation and assistance costs. This Section provides information on the estimated budget for the overall implementation of this RAP and source of funds.

Financing plan

SPMU is the source of the fund for the payment of the necessary compensations and mitigation measures and overall implementation of the RAP.

Since the Edo-NEWMAP are the ones impacting livelihoods, it will be their responsibility to fund the RAP budget. It will be financed through the projects administrative and financial management rules and manuals like any other sub-activity of the project eligible for payment under this project.

It is expected that implementation function will rest on the SPMU, but the budget will however be subject to clearance and approval by the World Bank and subsequent public disclosure of the RAP report prior to disbursement of funds to the PAPs.

Table 10 Summary of RAP Budget

S/N	DESCRIPTION	TOTAL
1	RAP Compensation/Assistance Budget for 81 PAPs (determined)	
	Land Acquisition	<i>N21,769,654.50</i>
	Crops and Agricultural Resources	<i>N 2,384,342.00</i>
	Structures	<i>N21,720,000.00</i>
	Disturbance Allowance (Businesses)	<i>N 2,671,000.00</i>
	Cultural Heritage	<i>N 1,225,800.00</i>
	Sub-Total: Compensation	<i>N49,770,796.50</i>
2	RAP Implementation including costs for Training, Management, Logistics and GRM (5% of-RAP compensation Budget)	<i>N 2,488,540.00</i>
	*TOTAL	<i>N52,259,336.50</i>

The total budget for implementing/administering the RAP for Iguosa Federal Housing Estate Gully Erosion Control project is **Fifty-Two Million, Two Hundred and Fifty-Nine Thousand, Three Hundred and Thirty-Six Naira, Fifty Kobo (N52,259,336.50) Only.**

This sum is expected to cover costs of the compensation for assets affected by the rehabilitation works, the management and logistics costs for the RAP implementation, coordination of Grievance Redress issues, and requisite Trainings.

Procedure for Delivering of Entitlements

The payment of compensations to the PAPs will be conducted by the Edo-NEWMAP. The 'Focal NGO' who is engaged by the Edo-NEWMAP shall witness, verify and document the payment of entitlements to the PAPs.

RAP Compensation Process

The compensation process will involve several steps in accordance with this resettlement and compensation plan and shall include the following:

- **Public participation:** Public participation with the PAPs which had been part of the process of this RAP would continue even at the RAP implementation phase. Using the entire identified medium, PAPs would be contacted, consulted and made to participate in enlightenment workshop in which alternatives for income restoration and compensation will be discussed. During this meeting, eligible PAPs without clearance certificate for entitlement will be issued with certificates. This assignment will be facilitated by the NGO that will oversee the compensation payment.
- The NGO shall identify and work closely with Site Committee, GRC, CDCs, etc. within the project area to ensure that PAPs are all contacted/consulted, and necessary dossiers are documented from PAPs
- Cash payment was agreed by the PAPs and adopted to be the form of compensation. This shall be done by issuing PAPs with an order form to be completed and signed by PAPs. PAPs who cannot read or write will be assisted to do so
- PAPs will specify clearly within the provision in the order form their transfer instruction (for those receiving cash), stating their **Bank Account Name, Name of Bank, Account Number and Sort Code.**
- Non-Bank Account holders shall be assisted to open bank accounts. This is important due to;
 - ✓ Government of Nigeria is moving towards a cashless economy which may pose difficult for PAPs receiving their entitlements.
 - ✓ Operating a bank account will be a plausible option to manage PAPs income restoration program
 - ✓ Carrying cash to the house by PAPs poses a security treat to PAP and may also lead to increase poverty scenario of PAPs
- **Notification** - Dates of various activities for the resettlement program will be communicated to PAPs for inclusive participation.

Compensation Payment Administration

The resettlement budget details prepared in this RAP will be implemented by the Edo state SPMU led by the Project Coordinator. After the processes elaborated above has been exhausted, the payment documentation stating the **Name of PAP, address, Phone number, Bank account details and amount entitled** on behalf of the Edo State NEWMAP will be prepared. The submission will be made to the Project Coordinator at the SPMU to facilitate the payment.

The Project Coordinator will verify the submission by the using the RAP Budget document as a reference. If there are errors, omissions or ambiguities, corrections will be made.

The Project Coordinator/Chief Accounting officer shall ensure that payments are carried out by the accountant/finance officer to the various PAPs.

Resettlement Implementation Linkage to Civil Works

Before any project activity is implemented, PAPs will need to be compensated/resettled in accordance with the entitlement matrix/budget plan established in this RAP. PAPs that would not need to relocate, especially those that their businesses will be disrupted during the drainage expansion must be informed/given the civil work schedule which at least provides a two weeks prior notice to PAPs before actual civil works in the area or site. Civil works should be carried out in phases and on time to avoid more impact on PAPs and reduce loss in sales by business owners who will experience some form of disturbance during the construction activities especially along the central road during expansion of the RHS drains as stipulated in the engineering design. Resettlement and monitoring of income restoration measures shall however be continuous throughout the project cycle together with other project activity implementations.

CHAPTER ELEVEN

INSTITUTIONAL MATRIX

Introduction

This RAP recognizes the cross-ministerial and cross-state coordination and collaboration of the many Federal and State Ministries, Departments and Agencies (MDAs) as well as local governments and communities involved in the NEWMAP. This brought about the development of institutional arrangements amongst public agencies with local communities and PAPs with a view to ensuring good project management. The implementation of this RAP shall require close collaboration among all the stakeholders with a properly constituted structure for administration which shall be agreed by all parties from the onset. The roles and responsibilities of the participating parties in collaborative efforts are well outlined.

The major institutions that are involved in this resettlement process are the Edo State Ministry of Environment, the World Bank, and the Resettlement Implementation Committee (RIC).

Institutional Arrangement

The roles and responsibilities of the institutions regarding Resettlement Implementation and Grievance redress is summarized below.

The Financier

World Bank

- Maintains an oversight role to ensure compliance with the safeguards policies, review and provide clearance and approval for the RAP
- Conduct regular supervision for satisfactory RAP implementation, fulfilment of community liaison and provide support role throughout the project implementation, and monitor the progress of the project construction.
- Recommend additional measures for strengthening the management framework and implementation performance.
- In case the WB considers the implementation to be not acceptable and no improvements can be expected, it will require that institutional capacity building measures be taken to strengthen the SPMU

Federal Level

Federal Ministry of Environment (FME_{Env})

- Lead coordinating agency and hosts the Federal Project Management Unit (FPMU).
- FPMU

Individual MDAs (State and Federal Levels)

- Participate deeply in the annual joint work programming process facilitated by the Federal/State PMU.

Federal Steering Committee

- Direct the FPMU in overall project coordination, alignment of project content and approach, and oversight of activities taking place across participating State.

Federal Project Management Unit (FPMU)

- Provides an oversight and advisory role in overall project management including resettlement planning and implementation
- Establishes and maintains the project management systems
- reinforce the State level structures
- Supervises through missions

State Level

State Steering Committees (SSCs)

- Apex decision-making bodies for the operation in the State.

State Technical Committees (STCs)

- Reviewing and updating the Joint Annual Work Program for State NEWMAP activities (each activity identifies a lead MDA as provided for in the work plan).
- Developing inter-sectoral MOUs if needed.

State Project Management Unit (SPMU)

The SPMU, as the implementing authority, headed by Project Coordinator (PC) & Authorized to take decision on financial matters within the provided budget, has the mandate to:

- Develop and implement RAPs and other safeguards instruments;
- Study in detail the RAP, and based on the review of the RAP prepare a detailed action plan and time table for the day to day RAP implementation;
- Organize the necessary training and capacity building measures for the unit itself and for other partner organizations and committees involved in the RAP implementation;
- Establish all local level institutions and committees which will participate in the implementation of the RAP and provide them with the necessary training and capacity building measures;
- Coordinates compensation activities in accordance with the principles and procedures specified in the RAP;
- Implement the income restoration and social development programs and project in accordance with the principles and procedures specified in the RAP;
- Ensure the systematic undertaking of monitoring, review and evaluation of the RAP in accordance with the framework and guidelines provided in the RAP and store the data and information collected in a data base;
- Based on the findings of the monitoring and review take corrective actions and submit monitoring and review reports to the relevant higher bodies for timely corrective measure.
- Facilitate the discussion between PAPs and communities regarding compensation for affected assets by the project's activities;
- Implement the RAP including their involvement to redress complaints and internal monitoring.
- Cooperate through a Steering Committee that provides guidance to the technical aspects of all project activities;

- Maintain and manage all funds effectively and efficiently for the RAP.
- Organize the necessary orientation and training for SPMU officials so that they can carry out consultations with communities, support communities in carrying out RAPs and implement the payment of compensation and other measures (relocation and rehabilitation entitlement) to PAPs in a timely manner;
- Ensure that progress reports are submitted to the World Bank regularly

SPMU Livelihood Safeguard Officer

- Initiate Resettlement Action Plan (whenever the project involves displacement of homes or businesses) or land acquisition of any kind).
- Review and approve Contractor's Implementation Plan for the social impact measures as per the RAP
- Liaise with the Contractors and the SPMU on implementation of the RAP
- Coordinate on behalf of SPMU day to day activities with the relevant line departments and oversee the implementation of RAP instrument, prepare compliance reports with statutory requirements, etc.
- Monitor and supervise regularly the implementation of RAP
- Observe payment of Compensation to PAPs.
- Identify and liaise with all relevant Stakeholders pre and post Project implementation.
- Sensitization of and Consultations with relevant Stakeholders during and after (where necessary) Project Implementation.
- Charged with the responsibility of safeguard requirements and ensuring the sustainability of project.

SPMU Engineer

- Provide technical support

Monitoring & Evaluation Officer/Consultant

- Develop the monitoring and evaluation protocol
- Conduct monitoring of SPMU Project implementation activities.
- Provide early alert to redress any potential problems.
- Monitor target achievements and slippages.

NEWMAP Technical Officer

- Acts as a link between the SPMU and the LGA;
- Sits at the LGA where the site intervention is taking place.

Resettlement Implementation Committee (RIC)

To ensure a broad representation with the intent of minimizing any conflict, the SPMU has set up this committee with the following as members:

- Social Livelihood Officer (SLO),
- Livelihood Officer (LO)
- Monitoring and Evaluation Officer (M&E)
- PA,
- Project Engineer (PE)

- Environmental officer (EO)
- GISO and a Rep. from the PFMU.

Other persons who can be incorporated into the committee shall be drawn from the following organization in the state/LGA affected by the proposed project.

- Affected Local Government Chairman as Chairman
- Physical Planning /land officer and forester
- Representatives of affected Communities,
- PAPs represented by local trade /Union leaders
- Coordinated by the Safeguard Unit of SPMU.
- Rep of the Site Committees (Secretary). The position of the secretary for the site committee is to be reserved for a woman representative.

Their roles shall include;

- Carry out meeting with each PAPs.
- Provide all necessary information to the PAPs regarding guidance value and basis for calculation of prices offered.
- Negotiate and firm up the final consent price.
- Intimate the decision for payment of compensation to the PAPs
- Ensure the Implementation of the RAP without any conflict
- Ensure that the project design and specifications adequately reflect the recommendations of the RAP
- Establish dialogue with the affected persons and ensure that the concerns and suggestions are referred to SPMU for appropriate response and management
- All members of RIC must be people who are knowledgeable in the use of local mechanism to settle grievances and who can ensure equity across cases and also be in position to know and eliminate nuisance claims and satisfy legitimate claimants at low cost

Grievance Redress Committee

The grievance redress mechanism describes the procedure as well as a number of multi-layered mechanisms to settle grievances and complaints resulting from resettlement and compensation in- house, at local level (See chapter on GRM for full details). The objective is to respond to the complaints of the PAPs in a timely and transparent manner and to provide a mechanism to mediate conflict and cut down on lengthy litigation, which often delays such infrastructural projects. It will also provide people who might have objections or concerns about their assistance, a public forum to raise their objections and through conflict resolution, address these issues adequately. The committee will provide ample opportunity to redress complaints informally, in addition to the existing formal administrative and legal procedures.

The major grievances that might require mitigation include:

- PAPs not listed;
- Losses not identified correctly;
- Inadequate assistance;
- Dispute about ownership;

- Delay in disbursement of assistance and improper distribution of assistance.

Local Level

Local Government

- Coordinates activities at local level during the preparation and implementation of the RAP
- Responsible for the appraisal of properties affected by the project.
- Provide additional resettlement area and amenities if the designated locations are not adequate.
- Engage and encourage carrying out comprehensive and practical awareness campaign for the proposed project, amongst the various relevant grass roots interest groups.
- Appoint a suitable Desk Officer for RAP information management
- Participating in sensitization of all communities
- Participate in resolving grievances;
- Monitor implementation of projects and activities of Operational Officers;
- Liaises with State PMU
- Convenes and helps mobilise affected communities within and across targeted sub-catchments
- Oversees community facilitators
- O&M oversight of works
- SPMU Participates in site-committees

Technical Officer in Local Government Areas

- Act as liaison to SPMU, MDAs and other organisations working with communities.
- Provide senior technical skill-set and advisory services to communities and LGAs.
- Convene affected and directly participating communities (liaising with neighbouring LGAs as needed).
- Closely interact with community stakeholders and the community facilitators.
- Support site monitoring.

Community Level

Community Liaison and Support Professional

- A liaison between the watershed community/communities and the SPMU
- In close contact with community members on a frequent and continuous basis,
- Assist in the formulation of community plans for livelihoods.
- Community sensitization and social mobilization.
- Assisting communities to form a representative Community Association.
- Helps the community to identify, select and implement livelihood sub-projects.
- Mobilizes cooperative labour for physical works.
- Provides support to the community for participatory monitoring.

Site Committees/ Community Associations

- Project site oversight.
- Identifies erosion problems and helps select and monitor solutions.
- Selects livelihood opportunities.
- Oversee physical works.
- Participate in site monitoring.

- Cooperate with neighbouring communities and LGAs as needed for trans-boundary sub-catchments.

Community Interest Groups

- Coordinate community inputs to sub-catchment planning, implementation and monitoring, with guidance from support professionals and technical providers such as extension agents.
- Participating in site monitoring.
- Mobilise Youth and Women's groups.

Traditional Authority

- Support in the identification of the right PAPs
- Assist in resolving grievances of PAPs
- Ensures that social values are not interfered with.

Project Affected Persons

- Receive compensation and move away from impact areas promptly
- Coordinate with the survey team/Resettlement Committee in carefully checking and signing off their affected lands and other assets as well as their entitlements;
- Make themselves available during census and participation in implementation;
- Provide feedback on improving the quality of the RAP and suggesting solutions for its effective implementation and
- Submit concerns through the right grievance redress channel

CBOs/CSOs

- Assist in resolving grievances of PAPs
- Support and assist in the mobilization of the various relevant grass roots interest groups.
- May have complaints that need to be resolved in the execution of the project with a view to avoiding conflicts and grievances.
- Serve as witness in compensation process and Monitoring and Evaluation

Others

Contractors

- Comply with relevant contract clauses on resettlement issues
- Establish good community relations;
- Train the workforce, and avoid any form of discrimination in terms of gender, religion or tribe;
- As much as possible employ the workforce from the project catchment area, and also make procurement therein;
- Try to provide local infrastructure and services in the course of executing the project;
- Ensure that workers and site staff are sensitive to the customs and way of life of the communities.
- Promptly repair any damage to utility services or infrastructure of the community in implementation of the project;

Lands Bureau and Ministry of Physical Planning and Urban Development

- Ensure compliance on matters of Land Acquisition and compensation and other resettlement issues,

- Verification of selected sites for resettlement and ensuring that such sites are ideally suitable for affected people.
- Invoke the physical planning and urban development law along the roads.
- Ensuring that the project meets with the requirements of resettlement as specified in the report
- Make appropriate recommendation and input in the resettlement process
- Ensuring that affected people are adequately compensated as stated in this report.

CHAPTER TWELVE

TIME TABLE OF EVENTS COORDINATED WITH THE CONSTRUCTION PROJECT

Timetable for the Resettlement Action Plan

The RAP has to be completed and PAPs adequately compensated before operation in the designated project area.

The timeline is only indicative since the external factors not envisaged at this period such as delay in reviewing and addressing comments and other administrative and operational matters may cause a delay in the project time line.

Table 11 Timetable for Completion of RAP Implementation

S/N	Activities	Completion Time			
		MARCH. 2020	APRIL. 2020	APRIL. 2020	APRIL- MAY 2020
1	Submission of Draft Final RAP Report				
2	Field Verification and comments				
3	Update of comments				
4	Submission of Final RAP Document				
5	Advertisement in two Local Newspaper in the Country				
6	Published in the World Bank Info Shop				
7	Commencement of RAP Implementation				
8	Completion of RAP Implementation				
9	Commencement of Civil work				

Training and Capacity Needs

The various committees saddled with the responsibility of ensuring day-to-day smooth implementation of the rehabilitation works and eventualities vis-à-vis complaints or grievances from residents, site workers or contractors, it is important to train the members of these committees on Grievance Handling methods especially the GRC members.

Table 12 Training schedule and cost

DURATION	ITEM	MODULE	WHO TO TRAIN	RESOURCES	ESTIMATED AMOUNT (₺)
1 Day	Involuntary Resettlement and Rehabilitation Protocol	Principles of Resettlement Action Plan Monitoring & Evaluation of RAP/RAP Implementation Public Involvement and Consultation in RAP	GRC, LG, Contractors, Engineers, & relevant MDAs, Community leaders / CBOs / NGOs / PAPs	Full text of OP 4.12 for each participant PowerPoint Presentation Associated Handouts	200,000.00
1 Day	Grievance Redress Mechanism	Conflict Management and Resolution in RAP	members of Resettlement and Grievance Redress Committees	PowerPoint Presentation Associated Handouts	100,000.00
1 Day	Basics of Livelihood Restoration	Cash Management and Monitoring Book keeping and Record Management Investment Decision making	Site committee members, GRC and All the PAPs	PowerPoint Presentation Associated Handouts	200,000.00
TOTAL: ₺500,000.00					

The total Summary cost of this training is reflected in the RAP Budget summary

CHAPTER THIRTEEN

MONITORING PLAN INCLUDING SUITABLE INDICATORS FOR THE PROPOSED PROJECT

Overview

Monitoring and Evaluation are integral components of the programme/project management cycle used at all stages of the cycle, monitoring and evaluation can help to strengthen project design, enrich quality of interventions, improve decision-making, and enhance learning.

The key objectives of monitoring the RAP implementation would be as follows;

- Transparency and accountability in terms of use of project resources
- Providing constant feedback on the extent to which the RAP implementation are achieving their goals
- Identifying potential problems at an early stage and proposing possible solutions
- Providing guidelines for the planning of future projects and,
- Improving project design

There will be two levels of monitoring; namely internal monitoring and external monitoring. The Project M & E office handles every aspect of Monitoring the project during the implementation processes while an external monitoring and evaluation officer will be engaged periodically by Edo-NEWMAP.

Internal Monitoring

The internal monitoring and evaluation officer will report to the Project Coordinator at the SPMU. Implementation of the RAP will be regularly supervised and monitored by the Social Livelihood Officer/Monitoring and Evaluation in coordination with staff of the NEWMAP-SPMU.

The findings will be recorded in quarterly reports to be furnished to the NEWMAP-SPMU, and the World Bank. Lessons learnt during implementation will be documented and disseminated so that gaps identified can serve as valuable information for subsequent projects.

Tasks of the Monitoring and Evaluation Officer

- Verify that the baseline information of all PAPs have been carried out and that the valuation of assets, lost or damaged, and the provision of compensation, resettlement and other rehabilitation entitlements has been carried out in accordance with the provisions of this policy framework and the respective inventory and RAP.
- Oversee that the RAP are implemented as designed and approved.
- Verify that funds for implementing RAPs are provided to the respective local level (district) in a timely manner in amounts sufficient for their purposes and that such funds are used by the Edo-NEWMAP in accordance with the provisions of the RAP.
- Ensure the identification and signature/thumb print of PAPs before and during receipt of compensation entitlements.
- Record all grievances and their resolution and ensure that complaints are dealt with in a timely manner.

Independent Monitoring

An independent agency will be retained by the Edo-NEWMAP to periodically carry out external monitoring and evaluation of the implementation of the RAP. The independent agency will be either an academic or research institutions, non- governmental organizations (NGO) or an independent consulting firm. They should have qualified and experienced staff and their terms of reference acceptable to the funding partners

In addition to verifying the information furnished in the internal supervision and monitoring reports, the independent monitoring agency will visit a sample of 10% of the Project affected Population in the project area, six months after the RAP has been implemented to:

- Determine whether the procedures for PAPs participation and delivery of compensation and other rehabilitation entitlements have been done in accordance with the Policy Framework and the respective RAP.
- Assess if the RAP objective or enhancement or at least restoration of living standards and income levels of PAPs have been met.
- Gather qualitative indications of the social and economic impacts of project implementation on the PAPs.

- Suggest modification in the implementation procedures of the RAP, as the case may be, to achieve the principles and objectives of this policy framework.

The terms of reference for this task and selection of qualified agency will be prepared by the NEWMAP-SPMU in collaboration with the World Bank at the beginning of project implementation stage.

Monitoring Indicators

They include:

- Delivery and usage of compensation and resettlement entitlements;
- Allocation of replacement land and residential plots, where applicable;
- Reconstruction of new houses and other infrastructure, where applicable;
- Compensation measures applied to compensate for damage during construction activities;
- Reported grievances and action taken;
- Problems encountered and action taken;
- General issues related to the success of compensation and resettlement measures.
- Implementation progress;
- Compensation and resettlement policies;
- Changes in livelihoods and incomes among PAPs; and,
- Consultation with and participation of PAPs and other Stakeholders.

Implementation Schedule

Table 13 summarizes the implementation schedule of the Resettlement Action Plan by phase, responsibilities and completion time for the construction and rehabilitation project.

Table 13 Summary of Implementation Schedule

PROJECT CYCLE	PHASE	ACTIVITIES	RESPONSIBILITIES
PLANNING	Scoping and Screening	Initial site visit & consultations. Identification of Resettlement and Social issues Application of safeguard policies Categorization Action plan	SPMUEdo-NEWMAP

		Screening Report <i>WB No-Objection</i>	
DESIGN	Preparation of RAP and consultations	Draft RAP Consultations <i>WB No-Objection</i>	Consultant; Supervision by Edo-NEWMAP
	Disclosure	Disclosure of RAP locally to WB Info Shop.	Edo-NEWMAP, World Bank
	Finalization and Incorporation	Final version of RAP into contract documents <i>WB No-Objection</i>	Consultant; Supervision by Edo-NEWMAP
EXECUTION	Implementation and monitoring	Implementation Monitoring & reporting on environmental and social mitigation measures Monitoring and reporting of Resettlement and livelihood issues	Contractors Supervision by Edo-NEWMAP and the community
OPERATIONS (POST-IMPLEMENTATION)		Maintenance Monitoring and reporting of Resettlement and social livelihood issues	Contractors Supervision by Edo-NEWMAP and the Community

CHAPTER FOURTEEN

GREVIANCE REDRESS MECHANISM (GRM)

Introduction

The likelihood of dispute is much reduced because the few affected persons due to the erosion control project have been greatly consulted.

Nevertheless, in the event that grievances arise this redress mechanism has been prepared. Already, the affected persons have been helped to appreciate that there are provisions for addressing any complaints or grievances. The grievance procedure will further be made available to the affected person through project implementation.

The major grievances that might require mitigation include:

- PAPs not listed;
- Losses not identified correctly;
- Inadequate assistance;
- Dispute about ownership;
- Delay in disbursement of assistance and improper distribution of assistance.

Grievances and Appeals Procedure

This grievance procedure is prepared in line with the provision of the RPF of NEWMAP. The need to provide a forum locally to receive, hear and resolve disputes is in the best interest of all parties to forestall the lengthy process of litigation, which could affect the progress of project. Therefore, the setting of Grievance Redress Committee early during RAP implementation is desirable.

Grievance Redress Process

There is no ideal model or one-size-fits-all approach to grievance resolution. The best solutions to conflicts are generally achieved through localized mechanisms that take account of the specific issues, cultural context, local customs, and project conditions and scale.

Although the SPMU has developed four stages of resolving issues arising from proposed project activities, grievance mechanisms can be broken down into the following primary components:

- Receiving and registering a complaint.
- Screening and assessing the complaint.
- Formulating a response.
- Selecting a resolution approach.
- Implementing the approach.
- Announcing the result.
- Tracking and evaluating the results.
- Learning from the experience and communicate back to all parties involved.
- Preparing a timely report to management on the nature and resolution of grievances.

Procedure for Effective Local Resolution of Grievance

The following steps and procedures will apply in this project to ensure that grievances are settled within SPMU and /or at the level of the Grievance Redress Committee as much as possible:

- An accessible and affordable complaints mechanism will be in place as soon as RAP report is disclosed, and will enable people with claims against the process to make their complaints
- At the first stage, PAPs will register their complaints and grievances to the GRC, established for this erosion and flood control works. The GRC is required to in consultation with the Safeguard

officers in the SPMU provide a written response to the PAP within fourteen (14) calendar days of receiving the complaint.

- If the PAP is not satisfied with the decision of the GRC the PAP should present, the case to the Safeguard Officer at the SPMU (GRC). The Officer upon receiving the complaint should write to acknowledge the receipt within one week.
- A record should be kept for hearing concerning the complaint, as well as of the reasons for filing the complaint
- The matter so complained should be verified with the SPMU

Where the matter cannot still be resolved at this level it should go to the Project Coordinator, After which the matter can be taken to Court of justice which is the final resort.

Court Resolution of Grievance Matters

The possibility of seeking for grievance resolution in the court may be a last resort and should be expected, especially, where the complainant felt dissatisfied with resolution of the GRC.

The provision of the RPF of NEWMAP on this matter is that grievances concerning non-fulfilment of contracts, levels of compensation, or seizure of assets without compensation shall be addressed to the state local courts system of administration of justice. The court hierarchy would in ascending order therefore, be land dispute tribunals/chiefs, followed by magistrate courts and then finally the high courts. The high court of the state is being designated as the highest appellate court to settle grievances.

This, admittedly, is a costly and time-consuming procedure. Nevertheless, affected persons will be exempted from administrative and legal fees incurred pursuant to this grievance redress procedure.

Grievance Redress Committee

The project has established a Grievance Redress Committee (GRC). The GRC will hear complaints and facilitate solutions; and the process, as a whole, will promote dispute settlement through mediation to reduce litigation. This committee is made up of the following parties:

- NGOs
- Community Development Councils (CDCs)
- Representative of the community
- Representatives of associations/interest groups and,
- PAPs representative

It is expected that an independent body such as NGO should head the Grievance Redress Committee (GRC) so as to give the committee credibility and trust of protecting the interest of PAPs. Edo-NEWMAP or its staff would not be heading the committee since it is a party to the anticipated grievance cases.

The NGO to be chosen must have experience in dispute resolution and must have a lawyer in its team that will serve as the secretary of the body.

The SPMU will provide the GRC with the guideline based on the provisions of this RAP and also make available to it contact details/register of PAPs which details of their names, addresses and phone numbers for contacting them when necessary.

PAPs shall also have the option of contacting the GRC directly or indirectly to register their grievance by themselves or through their local chief or leader.

There will be no fees or charges required of those wishing to have a grievance or complaint heard. The timeline for implementation of the grievance resolutions shall be at most 15 days from the last day allowable for grievance and complaints submission following the end of RAP disclosure.

The functions of the Grievance Redress Committee include:

- Provide support to PAPs on problems arising from loss of private properties and business area.
- Record the grievance of the PAPs, categorize and prioritize the grievances that need to be resolved by the committee; and
- Report to the aggrieved parties about the developments regarding their grievances and the decision of the project authorities

The committee will suggest corrective measures at the field level itself and fix responsibilities for implementation of its decisions. In terms of implementation, all efforts will be made to first resolve the issue faced by PAPs at the field level.

The grievance procedure should be simple, administered as far as possible at the local and state levels to facilitate access, flexible and open to various proofs taking into consideration the fact that many people are illiterate requiring a speedy, just and fair resolution of their grievances. However, when matters could not be resolved at this level, there is need for the grieved to seek redress in the court

Expectation When Grievances Arise

When local people present a grievance, they expect to be heard and taken seriously. Therefore, the SPMU and others such as the engineers involved in one aspect of the project or other must convince people that they can voice grievances and work to resolve them without retaliation.

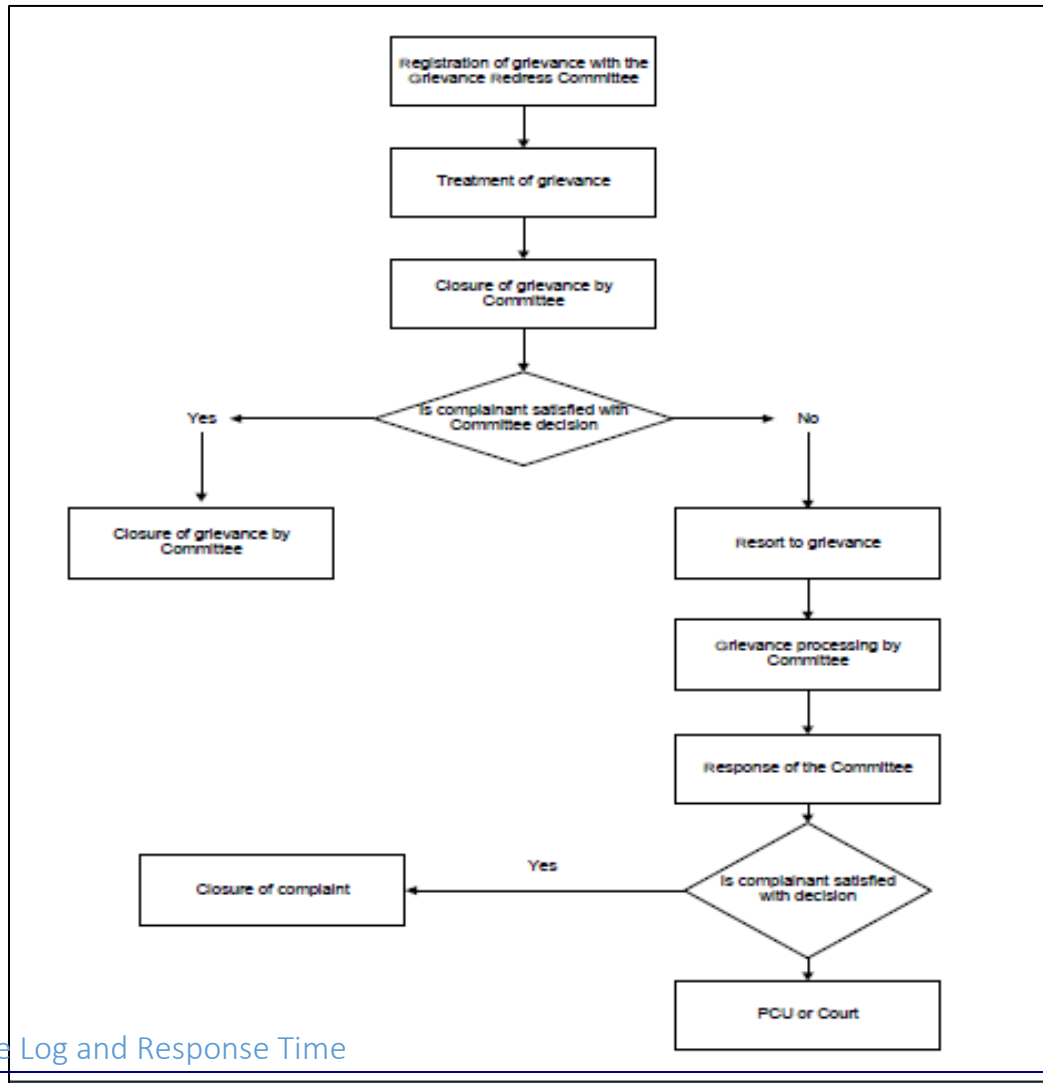
It should be understood that all or any of the following is or are expected from the project management/channel of grievance resolution by the local people:

- acknowledgement of their problem,
- an honest response to questions/issues brought forward,
- an apology, adequate compensation,
- modification of the conduct that caused the grievance and some other fair remedies

Management of Reported Grievances

- a) The procedure for managing grievances should be as follows:
- b) The affected person files his/her grievance, relating to any issue associated with the resettlement process or compensation, in writing or phone to the project Resettlement and Compensation committee (Phone numbers will be provided by the SPMU). Where it is written, the grievance note should be signed and dated by the aggrieved person. And where it is phone, the receiver should document every detail.

- c) A selected member of the Site Committee will act as the Project Liaison Officer who will be the direct liaison with PAPs in collaboration with an independent agency/NGO person ensure to objectivity in the grievance process.
- d) Where the affected person is unable to write, the local Project Liaison Officer will write the note on the aggrieved person's behalf.
- e) Any informal grievances will also be documented



Grievance Log and Response Time

The process |, for reference purposes and to enable progress updates of the cases. Thus the person affected by the project will file a Grievance Form with the Grievance Redress Committee. The Form (See table 5) should contain a record of the person responsible for an individual complaint, and records dates for the date the complaint was reported; date the Grievance Log was uploaded onto the project database; date information on proposed corrective action sent to complainant (if appropriate), the date the complaint was closed out and the date response was sent to complainant.

The Project Liaison officer working with the local Government Desk Officer in recording all grievances will ensure that each complaint has an individual reference number, and is appropriately tracked and recorded actions are completed.

The response time will depend on the issue to be addressed but it should be addressed with efficiency. The Grievance committee will act on it within 10 working days of receipt of grievances. If no amicable solution is reached, or the affected person does not receive a response within 15 working days, the affected person can appeal to a designated office in the SPMU, which should act on the grievance within 15 working days of its filing.

<u>Community project & Name of Complainant</u>	<u>Type of Grievance</u>				<u>Grievance Resolution</u>				
	<u>Affected, but not informed about impacts and options</u>	<u>Compensation awarded is inadequate</u>	<u>Compensation not paid before assets acquisition</u>	<u>Resettlement benefits awarded are not provided</u>	<u>other</u>	<u>Date of complaint</u>	<u>Date received</u>	<u>Pending</u>	<u>Case referred to the Court</u>
<u>Community Project 1</u>									
<u>Complainant A</u>									
<u>Complainant B</u>									
<u>Complainant C</u>									
<u>Community Project 2</u>									
<u>Complainant D</u>									
<u>Complainant E</u>									
<u>TOTAL</u>									

Figure 30 Typical Reporting format for Grievance Redress

Monitoring Complaints

The Project Liaison Officer will be responsible for:

- providing the grievance Committee with a weekly report detailing the number and status of complaints
 - any outstanding issues to be addressed
- monthly reports, including analysis of the type of complaints, levels of complaints, actions to reduce complaints and initiator of such action.

World Bank Group (WBG) Grievance Redress Service

The Grievance Redress Service (GRS) ensures that complaints are being promptly reviewed and addressed by the responsible units in the World Bank. The objective is to make the Bank more accessible for project affected communities and to help ensure faster and better resolution of project-related complaints.

The GRS accepts complaints that are:

- Related to an active World Bank-supported project (IBRD or IDA)
- Filed by a person or community who believes they have been or may be adversely affected by a World Bank-Financed project
- Filed by a bidder or potential bidder about the procurement process on a World Bank-financed contract. These complaints will be processed in line with Bank Procedure (BP) 11.00 (Annex D) and will not follow the GRS procedures. The identity of the complainant will be kept confidential if requested, but anonymous complaints will not be accepted.

How to file a complaint?

- Complaints must be in writing and addressed to the World Bank Grievance Redress Service (GRS).
- Complaints will be accepted by email, fax, letter, and by hand delivery to the GRS at the World Bank Headquarters in Washington or World Bank Country Offices

Program affected community/ individuals may also submit their complaint to the WBG's independent Inspection Panel which determines whether harm occurred, or could occur, as a result of WBG non-compliance with its policies and procedures. Complaints may be submitted at any time after concerns have been brought directly to the WBG's attention, and WBG Management has been given an opportunity to respond.

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ANNEX 1 CONSULTATION ATTENDANCE LIST

Date: 04-03-2020



ABBREVIATED RESETTLEMENT ACTION PLAN (ARAP) FOR IGUOSA GULLY EROSION SITE, EDO STATE.

PURPOSE: Initial Consultation with PAPs

S/N	NAME	ORGANIZATION	DESIGNATION	ADDRESS	GENDER	PHONE NUMBER	SIGN.
1	ASH-Imaniyof	Blaise		Blaise/H/O	M	0903772552	[Signature]
2	Ominialok	Iguosa	Resident	Iguosa/H/O	M	0805555111	[Signature]
3	MR TOG OADIRU	Iguosa		Iguosa	M	0803333200	[Signature]
4	Pullen Oshon	Iguosa		Iguosa	M	08055621526	[Signature]
5	John Nwanne	Iguosa	Landlord	Iguosa	M	08080377379	[Signature]
6	Mr. Mas...	Iguosa	Landlord	Iguosa	M	08080377379	[Signature]
7	Clemat Rtr	Iguosa	Landlord	Iguosa	M	08080377379	[Signature]
8	Wade Mas...	Iguosa	Landlord	Iguosa	M	0701946945	[Signature]
9	Ewedo...	Iguosa	Landlord	Iguosa	M	0807570111	[Signature]
10	Stella & Kadi...	IKI/O BA	Landlord	Iguosa	M	0703052526	[Signature]
11	Maxwell Wadara	Iguosa	Landlord	Iguosa	F	0801053211	[Signature]
12	Amos...	Iguosa	Landlord	Iguosa	F	0807065001	[Signature]
13	Yusuf...	Iguosa	Landlord	Iguosa	M	08033065022	[Signature]
14	Wadara...	Iguosa	Landlord	Iguosa	M	08080377379	[Signature]
15	Cher J.N.	Iguosa	Landlord	Iguosa	F	0205771000	[Signature]
16	Yusuf...	Iguosa	Landlord	Iguosa	F	0805773515	[Signature]
17	Amos...	Iguosa	Landlord	Iguosa	M	0803403117	[Signature]
18	Mr. Sag...	Iguosa	Landlord	Iguosa	M	0815555111	[Signature]
19	Mr. Sag...	Iguosa	Landlord	Iguosa	M	08033065022	[Signature]
20	JONAH	Ojumu Iguosa	Landlord	Iguosa	M	08085735744	[Signature]

Date: 04-03-2020



ABBREVIATED RESETTLEMENT ACTION PLAN (ARAP) FOR IGUOSA GULLY EROSION SITE, EDO STATE.

PURPOSE:

S/N	NAME	ORGANIZATION	DESIGNATION	ADDRESS	GENDER	PHONE NUMBER	SIGN.
1	Omosepe School	Ignosis	Landlord	Ignosis	M	07033251188	[Signature]
2	Lucy Ezele	Ignosis	Landlord	Ignosis	M	08113324216	[Signature]
3	Godwin Oshodi	Ignosis	Landlord	Ignosis	M	0811615107	[Signature]
4	Amade Bank	Ignosis	Landlord	Ignosis	M	08053187331	[Signature]
5	Asanrety Uka	Ignosis	Landlord	Ignosis	M	08100932821	[Signature]
6	Samson Okpelle	Ignosis	Landlord	Ignosis	M	0815794811	[Signature]
7	Neangere KAB	Ignosis	Landlord	Ignosis	F	0700024181	[Signature]
8	Oded Ignosis	Ignosis	Landlord	Ignosis	M	07052284435	[Signature]



ABBREVIATED RESETTLEMENT ACTION PLAN (ARAP) FOR IGUOSA GULLY EROSION SITE, EDO STATE.

Date: 9/03/2020

PURPOSE: Cat-off Consultation

S/N	NAME	ORGANIZATION	DESIGNATION	ADDRESS	GENDER	PHONE NUMBER	SIGN.
1	Mrs Ruth Adeniyi Igusa	Igusa		Otutu	F	08074397190	<i>[Signature]</i>
2	Atere Mimi Nisa	Nisa		Rt Road	M	07036424557	<i>[Signature]</i>
3	Samuel Hlan Igusa	Igusa		River Rd	M	08033668025	<i>[Signature]</i>
4	Mrs. Oluwafemi Igusa	Igusa		River Rd	F	08080997111	<i>[Signature]</i>
5	Nwagene John Igusa	Igusa		Ikanel	M	08080372385	<i>[Signature]</i>
6	Mrs. Ehinlola Igusa	Igusa		Igusa	F	08085758827	<i>[Signature]</i>
7	FALDESIFERU Igusa	Igusa		River road	M	08022959281	<i>[Signature]</i>
8	TIRI Saniusi Igusa	Igusa		River road	M	080338374256	<i>[Signature]</i>
9	Imolehin P.O	Igusa		River road	M	08025123351	<i>[Signature]</i>
10	Brislet Osobidi	Igusa		River road	M	08055134637	<i>[Signature]</i>
11	Osobidi Edmond	Igusa		River road	M	090232552488	<i>[Signature]</i>
12	Mrs. P. Igusa	Igusa		Igusa	F	0806617237	<i>[Signature]</i>
13	Mrs. Uwanigene Igusa	Igusa		Igusa	F	0706607248	<i>[Signature]</i>
14	Ikeola Igusa	Igusa		River road	M	08052837513	<i>[Signature]</i>
15	Osobidi (Mrs)	Igusa		River road	M	07034588244	<i>[Signature]</i>



ABBREVIATED RESETTLEMENT ACTION PLAN (ARAP) FOR IGUOSA GULLY EROSION SITE, EDO STATE.

Date: 9/03/2020.

PURPOSE: Cut-off Consultation

S/N	NAME	ORGANIZATION	DESIGNATION	ADDRESS	GENDER	PHONE NUMBER	SIGN.
1	Daniel Agwu	General Igwosa	Resident	Igwosa	Male	0803357015	<i>[Signature]</i>
2	Engr. Is. Ozo	General Igwosa	Director	Igwosa	M	0805718501	<i>[Signature]</i>
3	V.A. Bewele	Factory Bldg	Resident	Igwosa	Male	07020575754	<i>[Signature]</i>
4	Emubare Akers	General Igwosa	Resident	Igwosa	M	08023532697	<i>[Signature]</i>
5	OSADIAHI JOE	General Igwosa	Resident	Igwosa	M	08085735734	<i>[Signature]</i>
6	JONAH Ojumu	General Igwosa	Resident	Igwosa	M	0813532616	<i>[Signature]</i>
7	Effiong O. Inyang	General Igwosa	Resident	Igwosa	M	0815794311	<i>[Signature]</i>
8	Solar King	General Igwosa	Resident	Igwosa	M	0811819077	<i>[Signature]</i>
9	John-Meto	Business	Resident	Igwosa	M	0802183115	<i>[Signature]</i>
10	Daniel Agwu	Estate Agent	Resident	Igwosa	M	08023054500	<i>[Signature]</i>
11	Benjamin Agwu	Business	Resident	Igwosa	M	0103260067	<i>[Signature]</i>
12	Amaka Akpan	Resident	Resident	Igwosa	M	08026386577	<i>[Signature]</i>
13	Frank Edionwan	Resident	Resident	Igwosa	M		



ABBREVIATED RESETTLEMENT ACTION PLAN (ARAP) FOR IGUOSA GULLY EROSION SITE, EDO STATE.

Date: 9/03/2020

PURPOSE: Cat-off Consultation

S/N	NAME	ORGANIZATION	DESIGNATION	ADDRESS	GENDER	PHONE NUMBER	SIGN.
1	Mrs Ruth Adeniyi Igusa	Igusa		Otutu	F	08074397190	<i>[Signature]</i>
2	Atere Mwanigbo Nisa	Nisa		Rt Road	M	07036424557	<i>[Signature]</i>
3	Samuel Hlan Igusa	Igusa		River Rd	M	08033668025	<i>[Signature]</i>
4	Mrs. Oluwafemi Igusa	Igusa		River Rd	F	08080997111	<i>[Signature]</i>
5	Nwagene John Igusa	Igusa		Ikanel	M	08080372385	<i>[Signature]</i>
6	Mrs. Ehinlola Igusa	Igusa		Igusa	F	08085758827	<i>[Signature]</i>
7	FALDESIFERU Igusa	Igusa		River road	M	08022959281	<i>[Signature]</i>
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9	Imolehin P.O	Igusa		River road	M	08025123351	<i>[Signature]</i>
10	Brislet Osobidi	Igusa		River road	M	08055134637	<i>[Signature]</i>
11	Osobidi Edmond	Igusa		River road	M	090232552488	<i>[Signature]</i>
12	Mrs. P. Igusa	Igusa		Igusa	F	0806617237	<i>[Signature]</i>
13	Mrs. Uwanigbo Igusa	Igusa		Igusa	F	0706607248	<i>[Signature]</i>
14	Ikeola Igusa	Igusa		River road	M	08052837513	<i>[Signature]</i>
15	Osobidi (Mrs)	Igusa		River road	M	07034588244	<i>[Signature]</i>

ANNEX 2 MONITORING INDICATORS FOR PERFORMANCE OF RAP INCOME RESTORATION

NAME OF MONITORING OFFICER:			
NAME OF PAP:			
TYPE OF IMPACT CAUSED TO PAP BY PROJECT:			
Choice made by PAP between cash and in-kind compensation:			
Proposed Use of Payments:			
Date of Monitoring:			
Indicators	Baseline Status (Date)	New Status (Date)	Comment
Income of PAP			
Occupation of PAP			
Number of grievances and time and quality of resolution			
Skill acquisition/training			
Assistance received from Project			
Number of Children			
Number of children in school			
Type of place of dwelling			
Ownership of shop/structure?			
Value of Stock			
Turnover			
Condition of affected structure/Asset			

ANNEX 3 SAMPLE TABLE FOR VALUATION OF ASSETS

Name	Damage Cost			Productivity (Lost Income)				Cost Expanded To Regrow Tree To Fruition Age				
	No of Trees	Damage Cost/Tree	Sub Total	Pieces of Fruit/Tree/Year	Cost/Piece (N)	Age of Bearing Fruit (years)	Sub-Total	Seedling	Land Clearing/Improvement (N)	(C) Sub Total	Total (A+B+C)	
	1	500	500	950	5	4	19000	2		500	502	20,000.00
SUMMARY (Mango)												20,000.00

Palm Tree

S/N	Name	Damage Cost			Productivity (Lost Income)				Cost Expanded To Regrow Tree To Fruition Age					
		No of Trees	Damage Cost/Tree	Sub Total	Heads/Tree/Year	Cost/Head (N)	Age of Bearing Fruit (Years)	Sub-Total	Seedling	Land Clearing/Improvement (N)	(C) Sub Total	Total (A+B+C)		
		1	1500	1500	7	500	2	7000	18		3500	3518	12,000.00	
													SUMMARY (Palm)	12,000.00

Orange Tree

Name	Damage Cost			Productivity (Lost Income)				Cost Expanded To Regrow Tree To Fruition Age			
	No of Trees	Damage Cost/Tree	Sub Total	Pieces of Fruit/Tree/Year	Cost/Piece (N)	Age of Bearing Fruit (Years)	Sub-Total	Seedling	Land Clearing/Improvement (N)	(C) Sub Total	Total (A+B+C)
	1	300	300	920	30	3	82800	1	900	901	84,000.00
SUMMARY (Orange)											84,000.00

Coconut Tree

S/N	Name	Damage Cost			Productivity (Lost Income)				Cost Expanded To Regrow Tree To Fruition Age			
		No of Trees	Damage Cost/Tree	Sub Total	Head/Tree/Year	Cost/Piece (N)	Age of Bearing Fruit (Years)	Sub-Total	Seedling	Land Clearing/Improvement (N)	(C) Sub Total	Total (A+B+C)
		1	2500	2500	80	100	3	24000	1	3500	3501	30,000.00
SUMMARY (Coconut)											30,000.00	

Cassava

S/N	Name	Damage Cost	Improvement Cost	
			Improvement	Sub Total

	No of Stands	Damage Cost/Tree	Sub Total			Total (A + B)
	1	24	24	50	50	74.00
SUMMARY (Cassava)						74.00

Plantain/Banana Stand

S/N	Name	Damage Cost		Improvement Cost		Total (A+B)
		No of Tree	Damage Cost/Tree	Improvement	Sub Total (B)	
		1	3000	1500	1500	4,500.00
SUMMARY (Plantain/Banana)						4,500.00

Pineapple

S/N	Name	Damage Cost		Improvement Cost		Total (A+B)
		No of Tree	Damage Cost/Tree	Improvement	Sub Total (B)	
		1	100	300	300	400.00
Summary (Pineapple)						400.00

Scent leaf Stands

S/N	Name	Damage Cost		Improvement Cost		Total (A+B)
		No of Tree	Damage Cost/Tree	Sub Total (A)	Improvement	Sub Total (B)
		1	100	100	300	300
						400.00
						400.00

SUMMARY(Bitter-leaf) **400.00**

Fruited Pumpkin Stands

S/N	Name	Damage Cost		Improvement Cost		Total (A+B)
		No of Tree	Damage Cost/Tree	Sub Total (A)	Improvement	Sub Total (B)
		1	100	100	300	300
						400.00
						400.00

SUMMARY(Bitter-leaf) **400.00**

Bitter-leaf Stands

S/N	Name	Damage Cost		Improvement Cost		Total (A+B)
		No of Tree	Damage Cost/Tree	Sub Total (A)	Improvement	Sub Total (B)
		1	100	100	300	300
						400.00

SUMMARY (Bitter-leaf)

400.00

S/ N	STRUCTURES	USE OF STRUCT URE	TYPE OF MATERI AL USED	MATERIA L S	LABOU R	COST FOR LAND (N)	RELOCAT ION COST	REPLACEM ENT COST	SUBSI STENC E	COMPENSATIO N AMOUNT (N)	
1		Dilapidat ed Building (4 rooms & palour with Kitchen & toilet en-suite) Lintel level	Resident ial	6" Blocks, Cement , Sand, Stone, water and Lengths of Iron	200,000. 00	100,000 .00	495,000. 00	0	500,000.00	0	1,295,000.00

2	3- bedroom Building (Foundation level)	Residence	6" Blocks, Cement , Sand, Stone, water and Lengths of Iron	80,000.00	40,000.00	495,000.00	0	120,000.00	0	735,000.00
3	Complete Building 4 bedroom 3 parlour kitchen Laundry room and 1 BQ	Residential	6" Blocks, Cement , Sand, Stone, water and Lengths of Iron	1,200,000.00	600,000.00	495,000.00	0	1,000,000.00	0	3,295,000.00

4	Fence L = 1 , H = 2.5, with Pillars	Resident ial	6" Blocks, Cement , Sand, Stone, water	4,000.00	2,000.00	0.00	0	7,000.00	0	13,000.00
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SUMMARY

5,338,000.00

CULTURAL HERITAGE

S/N	CORDINATES	NAME OF PAP	ITEM	DESCRIPTION OF USE	RELOCATION COST	REPLACEMENT COST	SUBSISTENCE	COMPENSATION COST
1			1 Shrine	Shrine relocation	267,900.00			287,900.00
2			1 Grave	Tombs	230,000.00	0	0.00	230,000.00
SUMMARY FOR CULTURAL HERITAGE								517,900.00

ANNEX 4 SAMPLE SOCIO-ECONOMICS COLLECTION FORM

IDENTIFICATION

Community: _____ Date _____

Name of Interviewer _____

Name of the Respondent: _____

Phone No _____

Relationship to Household head _____

Age ___ Sex ___

Address: _____

Nationality _____ Nativity _____

Length of stay within the community _____

Affix Passport Here

GENERAL INFORMATION

Religious Group: Christians: ___ Muslim: ___ ATR: ___ Others: (specify) ___

Social Group: Vulnerable: ___ General ___

Family Pattern: Joint: ___ Nuclear: ___ Individual: ___

Size of Family: Small (2-4) ___ Medium (5-7) ___ Large (Above7) ___

FAMILY PARTICULARS (Start from head of the household)

S/N	Name of Member	Sex	Age	Marital Status	Relationship to HH-head	Educational Level	Occupation	
							Primary	Secondary

Household's Main Occupation: _____ and Monthly income (₦) _____ Secondary Source _____ and Monthly Income (₦) _____ No. of Adult earning members: _____ No. of dependents: ___ Family annual expenditure: (₦) _____

COMMERCIAL/SELF EMPLOYMENT ACTIVITIES

Type of Shop/Business Enterprises (SBEs)

Hotel: ___ Provision store: ___ Repair & Workshop ___ Other Shops (Specify) _____
 Other Enterprise (Specify) _____ No. of Partners: ___

Employment Pattern

Owner/Operator: ___ Employed 1 to 5 persons: ___ Employed above 5: ___

VULNERABILITY

HH becoming BPL as a result of loss of livelihood/asset ___ Female headed household ___

PUBLIC UTILITIES

How would you describe the condition of the following amenities in town you live/community?

Amenities	Very Good	Good	Fair	Poor
Roads to the community				
Roads within the community				
Schools in the community				
Public Health Institutions				
Potable Water				
Public Electricity				
Communication facilities (Postal Service, Telephone)				
Public recreation facilities				

What is the major source of water available to your household?

(i)River ___ (ii)Borehole (commercial) ___ (iii)Borehole (private) ___ (iv)Public pipe-borne water ___ (v)Pond ___ (vi)Water Vendor ___ (vii)Well water ___

How long does it take you in minutes/hours to get to your water source ___?

What is your primary source of electricity?

(i)Hurricane Lamp ___ (ii) Private Generators ___ (iii)Community Generators ___ (iv)State Government Utilities Board ___ (v)Company Operating in your community ___ (vi) PHCN (National Grid) ___

What is your secondary source of electricity?

(i)Hurricane Lamp ___ (ii) Private Generators ___ (iii)Community Generators ___ (iv)Company Operating in your community ___

What is the main fuel you use for cooking?

(i)Firewood ___ (ii)Charcoal ___ (iii)Kerosene ___ (iv)Gas ___ (v)Electricity ___ (vi)Crop residue/ Saw dust ___ (vii) Animal Wastes ___ (viii)Others ___

HEALTH AND SANITATION

What type of toilet facility do you use?

(i)Pit___(ii) Bush___(iii)Bucket___(iv) Water Closet___(v)Others (Specify).....

How do you dispose of your household refuse?

(i)Private Open Dump___(ii) Public Open Dump___(iii) Organized Collection___(iv)Burning___(v) Bush___(vi)Burying___

Which of the following diseases/condition is most common in your area?

(i)Malaria___(ii)Typhoid___(iii)Diarrhoea___(iv)Cough___(v) Respiratory Disturbance___(vi)Others__

PROJECT PERCEPTION

Are you aware of the proposed Erosion Rehabilitation Project? Yes: ___ No:___

If Yes, Source of information_____

What is your opinion about the project? Good___ Bad___ Can't say___

If good, what positive impacts do you perceive? _____

If bad, what negative impacts do you perceive? _____

INFORMATION ON AFFECTED PROPERTY

GPS Coordinates: _____

Name of PAP _____

Phone No _____

Category of PAP: Titleholder___ Encroacher___ Tenant___ Squatter___ others (specify) _____

Type of document possessed to certify ownership type _____

If not owned, state name and Address of owner _____

If informal use right, state type of agreement _____

Number of years used _____ Rent paid/month (₦) _____

Details of the structure

Type of Use: Residential: ___ Commercial: ___ Residential/Commercial: ___ Other (Specify) ___

Construction Type: Mud ___ Brick ___ Mud/Thatched roof ___ Brick/Zinc roof___

No. of Rooms/Storey ___ Impacted Area (m²) _____ Total Impacted Area (m²) _____

Utility Connection: Electricity ___ Water ___ Phone___ (P-Partially F-Fully)

Other Affected Assets

Compound wall/fence___ Tree___ Farmland___ Borehole/well___ Others (Specify) _____

Replacement Value (₦) _____

Assets distance to the wall edge _____

Agricultural Products

Type of Crop						
Owner of Crop						
Total yearly production						
Average yield						
Average value of crop						
Number of labour used for production						
Crop products sold at market (%)						

Average yearly household income from agriculture (₦) _____

Trees

Type of Tree						
Number of affected Tree						
Average yield of fruit bearing trees						
Average yearly income from fruit tree						

RESETTLEMENT AND REHABILITATION

In case you are displaced (residentially) where and how far do you prefer to be located?

Within the area ___ Outside the area ___ Place name _____ Distance ___ (km)


Which is your preferred replacement Option?

Land for land lost ___ Cash Assistance ___ House in Resettlement Site ___ Shop in Resettlement Site ___ Other (Specify) ___

Factors to be considered in providing alternate place

Access to family/friends ___ Income from friends ___ Income from Business activity ___ Daily Job ___ Close to Market ___ Other (Specify) ___

ANNEX 5 LIST FOR RELOCATION OF MOVEABLE CULTURAL HERITAGE SUBMITTED BY CARETAKERS


IGUOSA COMMUNITY
 (ELDER'S COUNCIL)
 No. 13 Iguosa, Benin Lagos Express Road, Benin City.

Your Ref: Our Ref: Date: 09/03/2020

Dear Sir,

ITEMS REQUIRED TO MOVE AND RELOCATE THE STRINES

The Odionwere and elders of Iguosa Community wish to forward the list of items required for the purpose above.

OVIA NISE

ITEMS	AMOUNT	N
One big ram		70,000
One big dog		25,000
One big cock		3,000
One Tortoise		3,000
14 Alligator pepper		1,000
Three cups of cowries		5,000
Plenty Native chalk		1,000
Total		N108,000
9 yards of red cloth		4,000
9 yards of white cloth		4,000
Native coconut (14)		5,000
Three bottles of gin		7,000
14 tubers of yam		20,000
Total		N40,000

ODEDE NIKAN

ITEMS	AMOUNT	N
4 tubers of yam		6,000
3 Alligator Pepper		500
1 small chicken		500
12 Native cola nuts		4,000
3 bottles of gin		7,000
Total		18,000

ERUVBI

ITEMS	AMOUNT	N
One white she goat (big)		30,000
One white He goat (big)		20,000
Three crates of feta mineral		2,400
Two pidgin (white)		2,000
Wuse		500
Obele		500
Total		64,400
Seven coconut (Native)		1,000
Emaba		500
1 white male dock		6,000
Total		7,500
Seven coconut (native)		1,000
Emaba		500
One white male dock		6,000
Labour		30,000
Total		37,500

Please note that the ~~case~~ include movement and relocation .

G/Total	N267,900
Therefore	x 2
	N535,800

We appreciated your efforts may the ancestors bless you all.

OBA GHA TO KPERE

ISE

PA. CLIFORD IGIEHON
PA. CLIFORD IGIEHON

(Odionwere)

JOE OBADIARU
JOE OBADIARU
(Secretary)

Cost to Remove and relocate Mrs
Mary Agui Corpse

(1) Casket

2) Family Rites

3) Heath

50,000.00

50,000.00

4) Cost to Remove (Relocate

4 Cost to rebuild the Grave

50,000.00

80,000.00

Total Cost -- ~~120,000.00~~ 30,000.00

Two hundred & thirty thousand
naive only

presented by Mr Benjamin Agui
for the family

08030540670